

Planning Board Meeting

May 16, 2023 at 6:00 p.m.



Planning Department
856 Main Road
Westport, MA 02790



Planning Board

James Whitin
Robert Daylor
John K. Bullard
Mark L. Schmid
Manuel Soares

AGENDA

Tuesday, May 16, 2023

Call to order 6:00 p.m.

1. Administrative Items

- a. Reorganization of the Board
- b. Appoint member to Infrastructure Committee
- c. Southeastern Regional Planning Economic Development District (SRPEDD) 2023-2024 Commission Member appointment
- d. Open Meeting Law – Trainings and Certifications
- e. Community One-Stop for growth grant authorizations
- f. Main Road Corridor Plan American Rescue Plan Act (ARPA) Funds request
- g. **Pre-Application Consultation (23-009PAC)** Request by VazRo Realty Trust to discuss the new layout for the subdivision previously known as “Francis Estates.”
- h. **Bentley Estates II (15-009C)** – Request to eliminate sidewalks in phase II
- i. **Approval Not Required (ANR) 408 Sodom Road (23-012A)** Request by the applicant for endorsement of a Plan of Land showing three (3) Lots for land located at 408 Sodom Road, Map 68 Lot 28 & 28c.

2. 6:15 p.m. Public Hearing

- a. **Westport Horizons Development Corp. Oakridge (06-001SP-MAJOR)**(*continued from February 22, 2022, April 19, 2022, June 28, 2022, December 13, 2022*)

3. Assistant/Planners report

- a. Planners Report
 1. Central Village Corridor Plan Update
 2. Route 6 Rezoning Update
 3. Municipal Vulnerability Preparedness (MVP) 2.0 Grant
 4. Housing Production Plan (HPP) Update
 5. Southeastern Regional Planning and Economic Development District (SRPEDD) Annual Meeting
 6. Route 6 Business Survey

4. Correspondence

- a. Zoning Board of Appeals notices

5. Minutes

April 4, 2023

6. Reimbursement/Invoices

- a. American Planners Association (APA) membership reimbursement - \$27
- b. American Planners Association National Planning Conference - \$400

7. Short/Long-term Planning Discussions

- a. 2023 Annual Town Meeting

8. Matters Not Reasonably Anticipated

ADJOURNMENT

NOTE: Agenda is subject to change

NEXT MEETINGS:

Planning Board: May 30, 2023 at 6:00 p.m.

Work Session: ?



3 Main Street Lakeville, MA 02347
(508) 947-4208 - www.zcellc.com

- Civil Engineering
- Septic Design (Title 5)
- Septic Inspections (Title 5)
- Commercial and Industrial Site Plans
- Chapter 91 Permitting

March 7, 2023

Town of Westport Planning Board
856 Main Road
Westport, MA 02790

(23-009PAC)

RE: Pre-Application Meeting for Residential Subdivision Westport, MA



Dear Board Members,

This letter is written as a narrative of a proposed residential subdivision off Charlotte White Road.

An open space residential development was previously submitted for this property by David D. Gardner & Associates, Inc. (submitted in 2017 and revised through 2021). This submittal proposed twelve 20,000 s.f. lots. The client has decided to change the proposed subdivision to a conventional layout with ten 60,000 s.f. lots as shown on the concept plan attached. We would like to discuss the new layout with the board prior to definitive plans are drafted to get ahead of any potential concerns.

Should you have any questions prior to our meeting on April 18th, please do not hesitate to contact our office at 508-947-4208.

Sincerely,

Zenith Consulting Engineers, LLC.

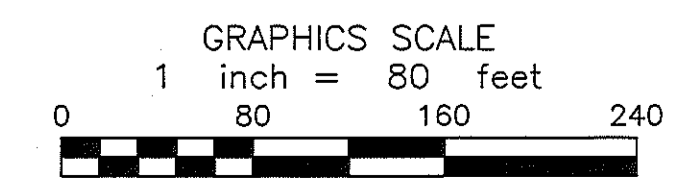
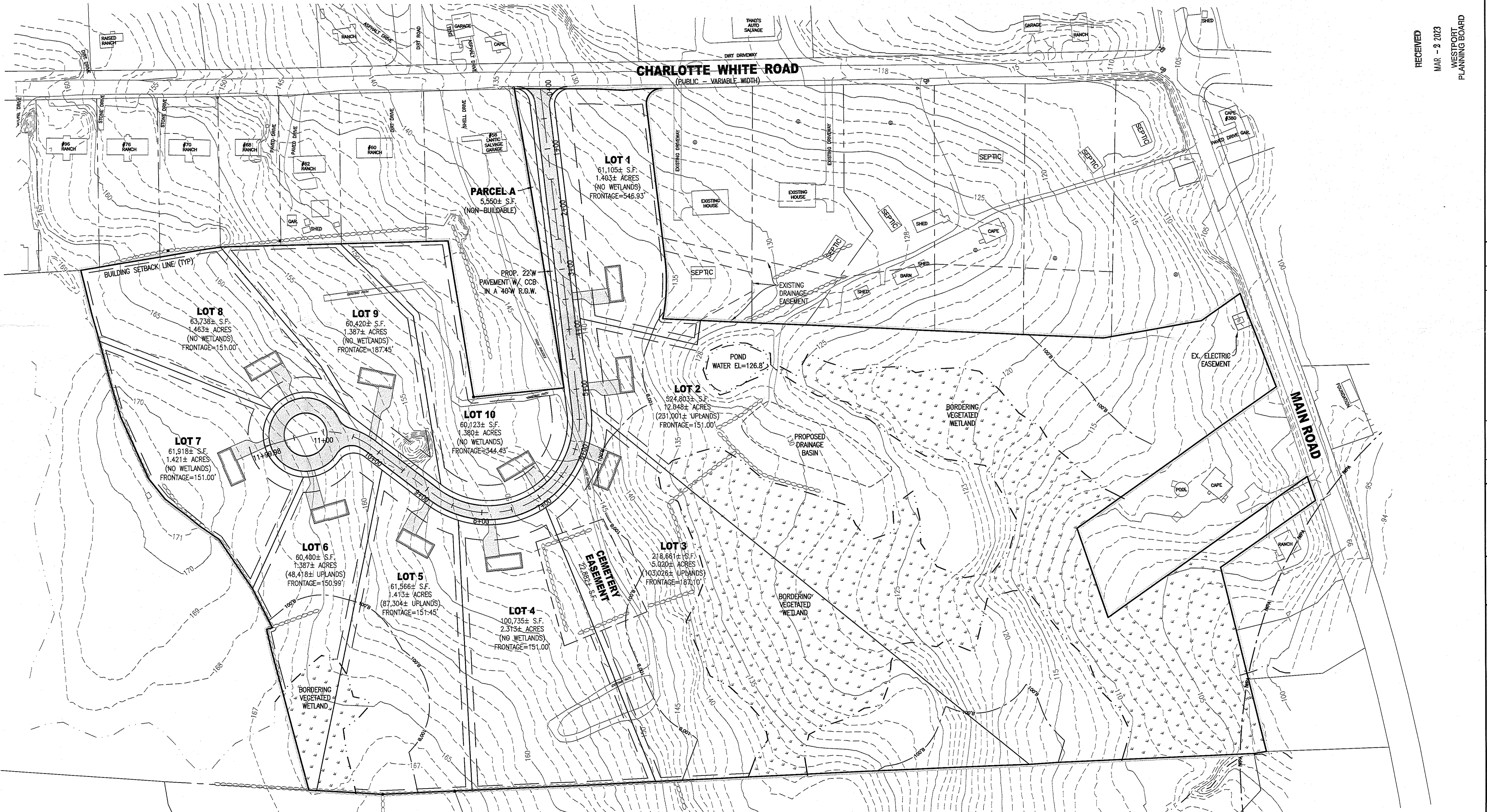
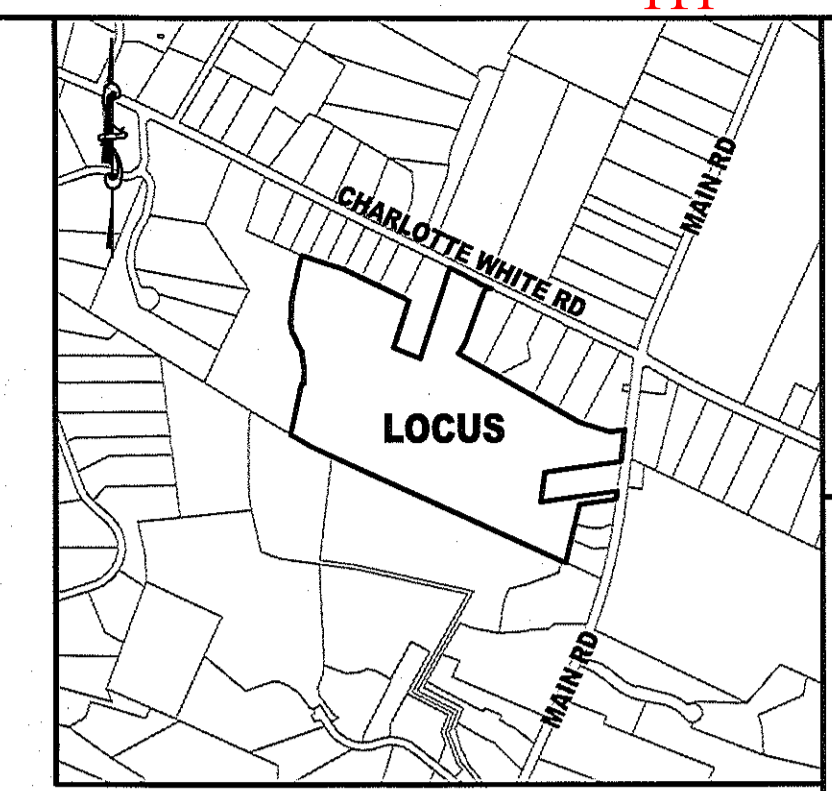
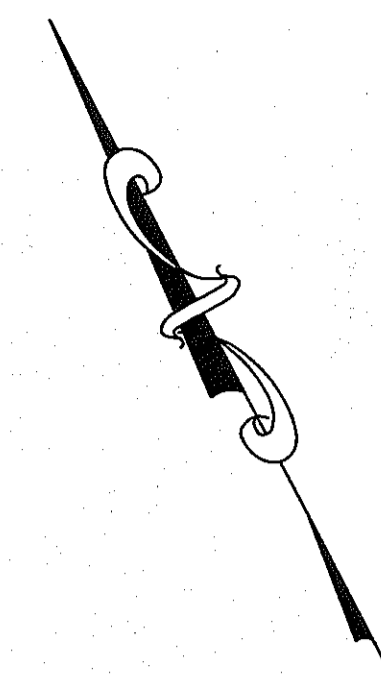
A handwritten signature in blue ink, appearing to read 'Tom Morris'.

Tom Morris, P.E.
Senior Project Engineer

ZONING SUMMARY TABLE (RESIDENCE & AGRICULTURE DISTRICT)	
CRITERIA	REQUIRED
LOT AREA	60,000 S.F.
CONTIGUOUS UPLAND	30,000 S.F.
FRONTAGE	150'
MINIMUM WIDTH	50'
FRONT BUILDING SETBACK	25'
SIDE BUILDING SETBACK	10'
REAR BUILDING SETBACK	6'
BUILDING HEIGHT	2.5 STORIES OR 40'
IMPERVIOUS COVER	50%

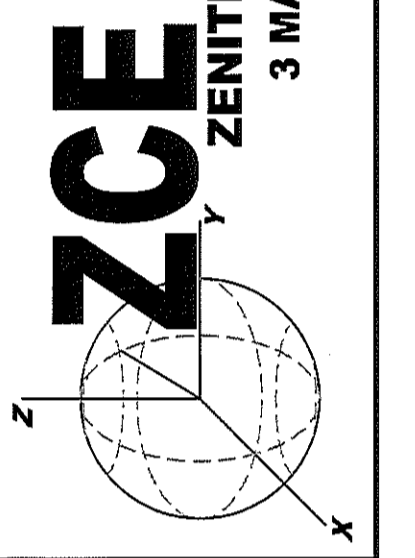
SITE NOTES:

1. THE SITE IS LISTED ON THE TOWN OF WESTPORT ASSESSORS PROPERTY RECORD CARDS AS PARCEL ID 68-7.
2. PROPERTY LINE INFORMATION, WETLAND LINES AND LOCATION OF EXISTING ON-SITE CEMETERY WAS TAKEN FROM A FIELD SURVEY BY ZENITH LAND SURVEYORS, LLC.
3. NEW BEDFORD COUNTY REGISTRY OF DEEDS:
DEED REFERENCE: BOOK 7073 PAGE 138
4. EXISTING CONDITION INFORMATION INCLUDING BUILDINGS, UTILITIES, PAVEMENT, PATHS AND TOPOGRAPHY TAKEN FROM "OPEN SPACE RESIDENTIAL DEVELOPMENT FOR FRANCIS ESTATES" DATED 9-8-17, REVISED THROUGH 5-29-18 PREPARED BY SITE DESIGN ENGINEERING. THESE FEATURES SHOULD BE CONSIDERED APPROXIMATE.
5. THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.) NUMBER 25005C0452G, MAP REVISED 7-6-21.
6. THE SITE IS NOT LOCATED IN A PRIORITY HABITAT AND ESTIMATED HABITAT AS SHOWN ON THE MASSACHUSETTS NATURAL HERITAGE ATLAS 15TH EDITION EFFECTIVE DATE AUGUST, 2021.
7. AN ORDER OF RESOURCE AREA DELINEATION (ORAD) WAS ISSUED ON OCTOBER 27, 2007. DEP FILE NUMBER SE 80-1627.
8. THE PROJECT IS NOT LOCATED WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC).
9. THE SITE IS NOT LOCATED IN A ZONE II TO A PUBLIC WATER SUPPLY WELL.
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DRAFT

RECEIVED
MAR - 2 2023
WESTPORT
PLANNING BOARD



REV.	DATE	DESCRIPTION	BY	APP.

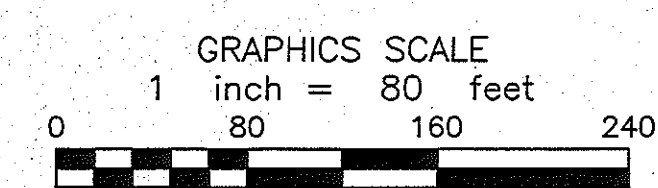
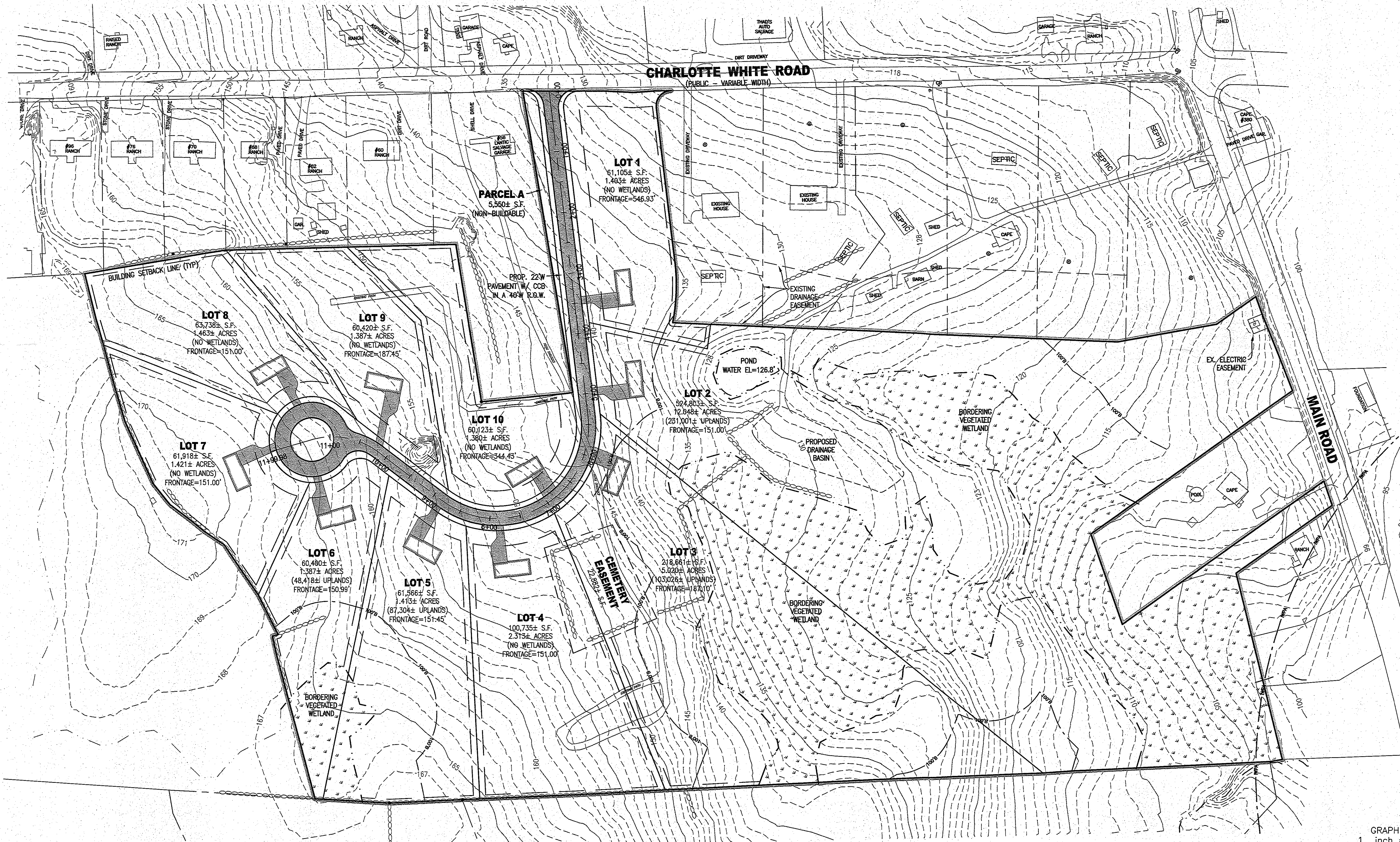
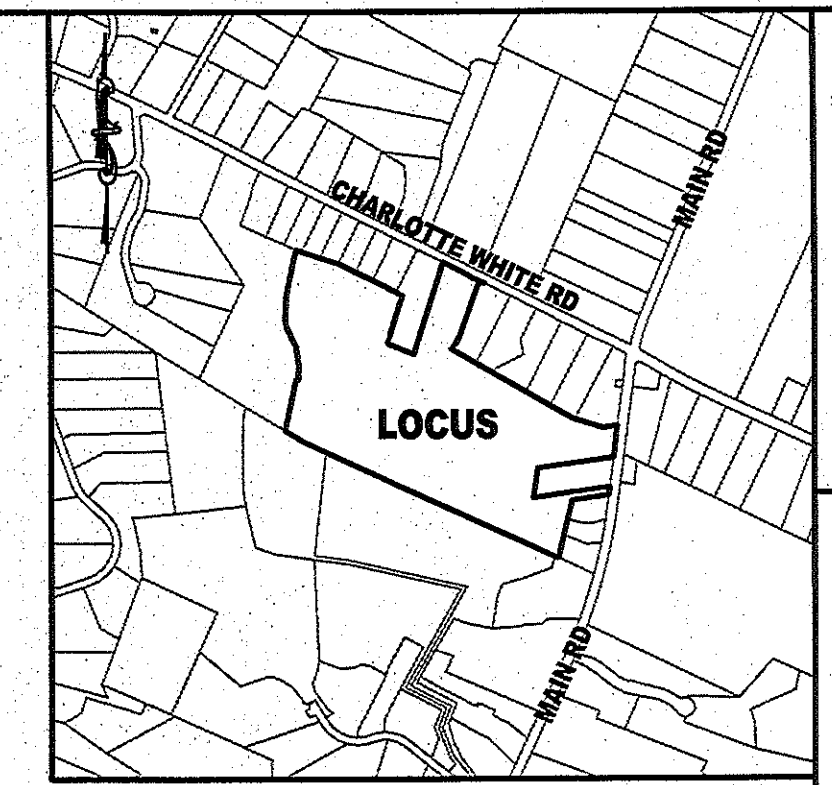
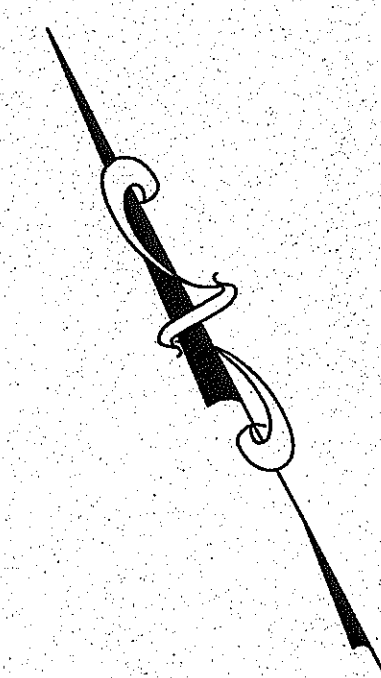
**FRANCIS ESTATES
CONCEPT PLAN**
CHARLOTTE WHITE ROAD
 WESTPORT, MASSACHUSETTS
VAZRO REALTY TRUST
 5 ARCHERS WAY
 ACUSHNET, MA 02743

P.E. STAMP
23-009 PAC

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DRAFT

P.E. STAMP

ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

REV.	DATE	DESCRIPTION	BY	APP.

DRAWN BY: TEM	DATE: 2-22-23	PROJECT NUMBER: ???	SHEET ID: CONCEPT
DESIGNED BY: TEM		DRAWING SCALE: 1" = 80'	
CHECKED BY: ALB			
APPROVED BY: ALB			

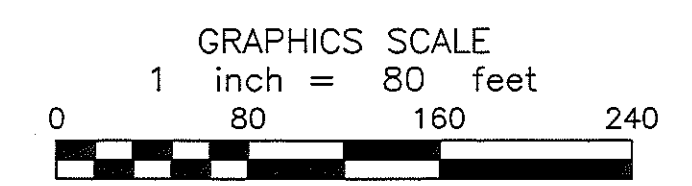
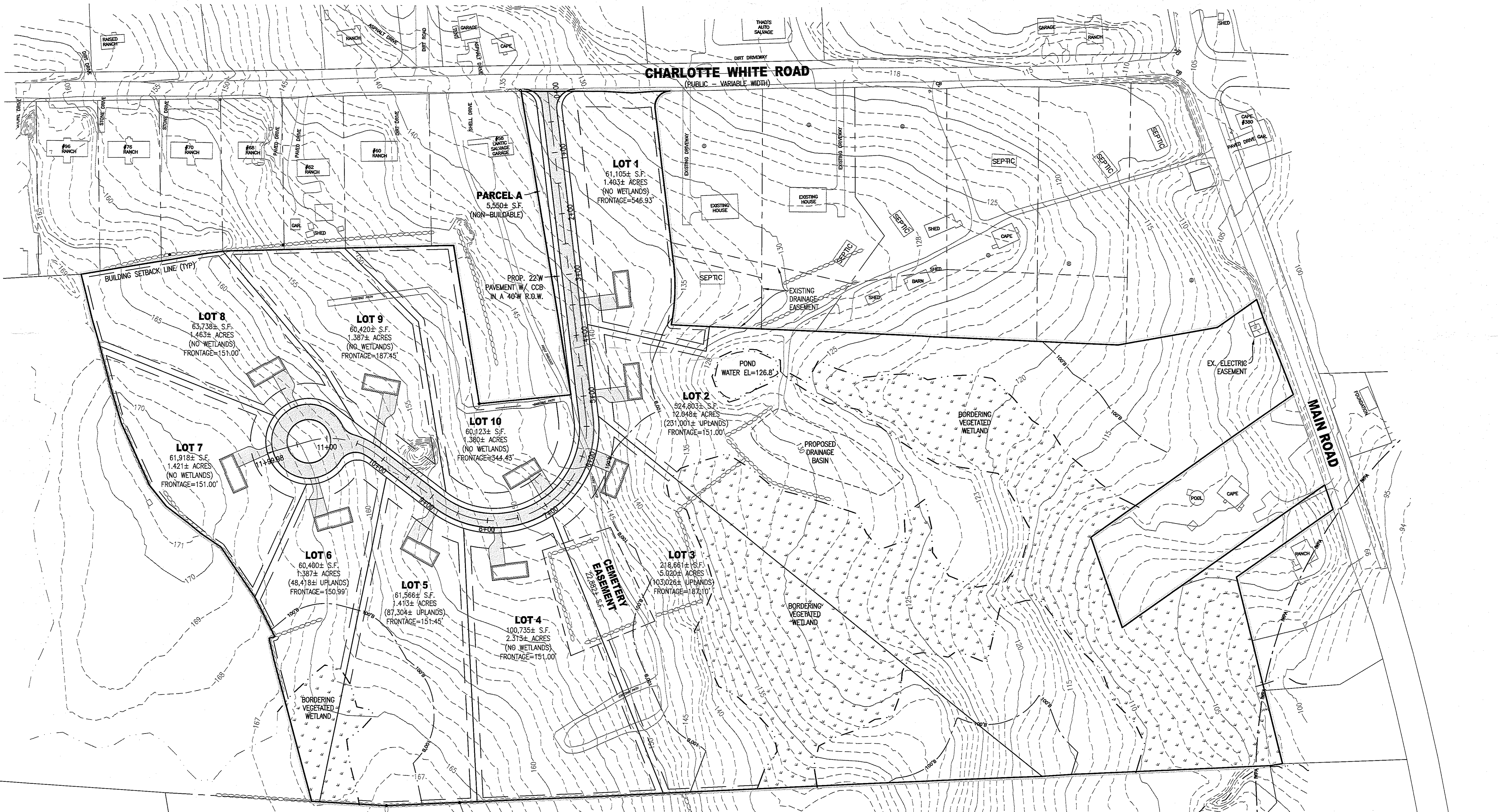
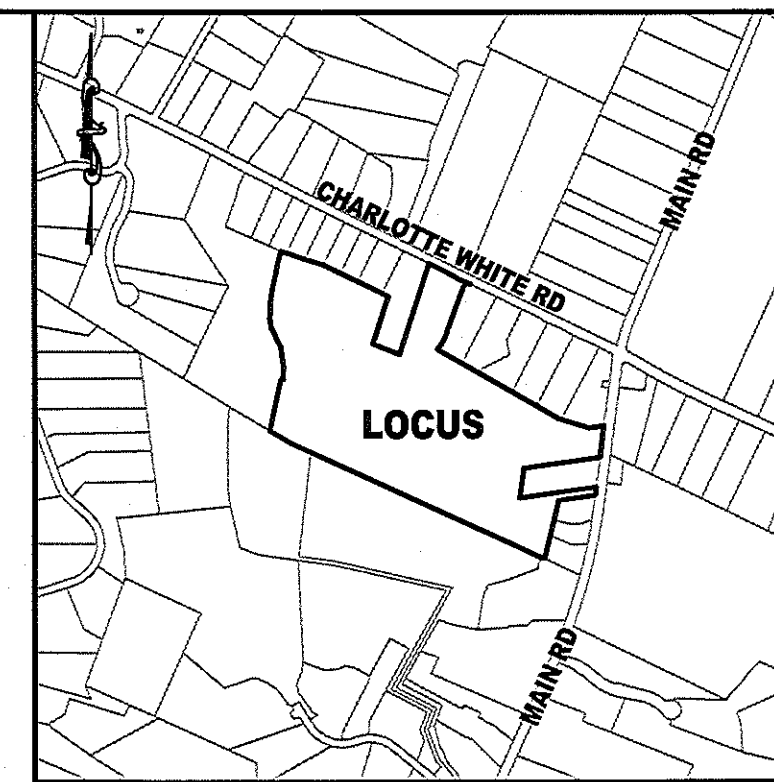
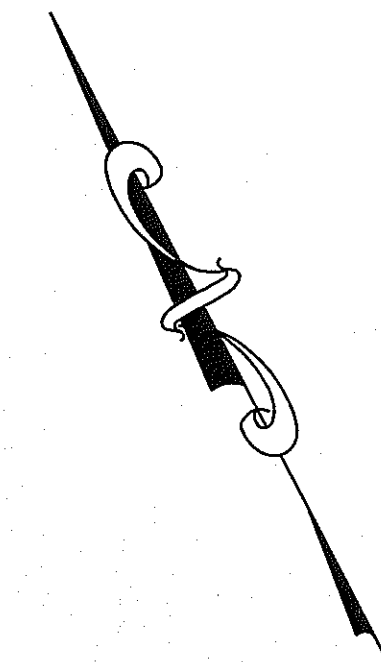
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CONCEPT PLAN
CHARLOTTE WHITE ROAD
WESTPORT, MASSACHUSETTS
VAZRO REALTY TRUST
5 ARCHERS WAY
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S:\Civil Engineering Projects\Westport\Charlotte White Road\Francis Estates\Draw\Subdivision Plan - Francis Estates - Westport.dwg

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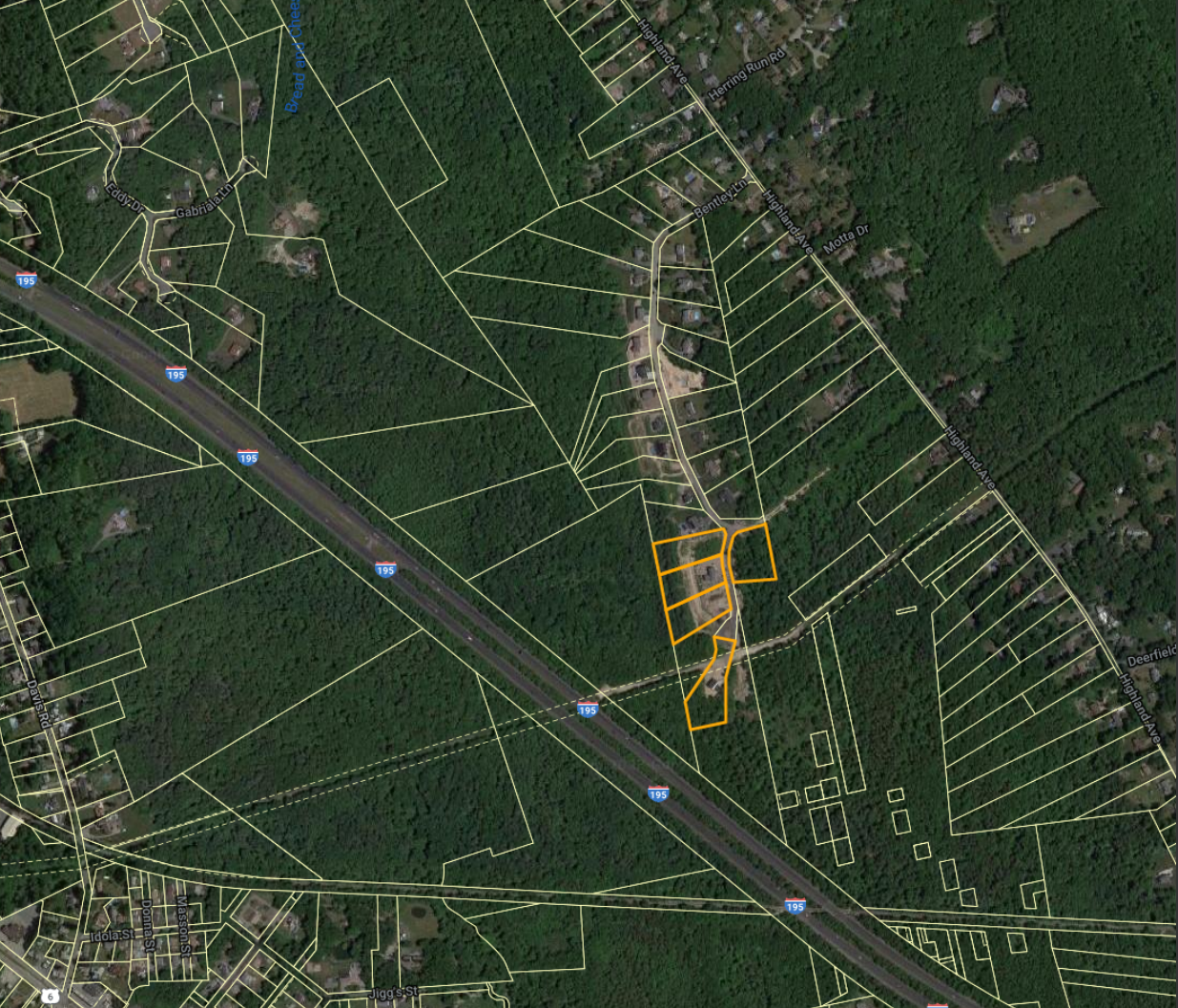
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SHEET NAME: FRANCIS ESTATES CONCEPT PLAN	DATE:	2-22-23	REV.		DESCRIPTION	BY	APP.
	DESIGNED BY:	PROJECT NUMBER	777	CHECKED BY:	DRAWING SCALE	1" = 80'	SHEET ID
PROJECT SITE: CHARLOTTE WHITE ROAD WESTPORT, MASSACHUSETTS	DRAWN BY:	DATE:	DATE:	DATE:	DATE:	DATE:	DATE:
OWNER INFO: VAZRO REALTY TRUST 5 ARCHNET WAY ACUSHNET, MA 02743	DESIGNED BY:	DATE:	DATE:	DATE:	DATE:	DATE:	DATE:

DRAFT
P. E. STAMP

ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208



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Bread and Butter

Eddy Dr

Gabriela Ln

Highland Ave

Herring Run Rd

Bentley Ln

Highland Ave

Motta Dr

Highland Ave

Deerfield

Highland Ave

Idola St

Dornier St

Maresons

Jigg St

RECEIVED

March 16, 2023

WESTPORT
PLANNING BOARD

March 12, 2023

***GTA Engineering
818 Montgomery Street
Fall River, MA 02720***

Cell: (774) 301-1710 E-Mail: GEORGE4220@YAHOO.COM Fax: (508) 819-4949

Westport Planning Board
856 Main Road
Westport, MA 02790

Reference: Bentley Estates II, Westport, MA 02790 (15-009C)
Subject: Waiving Sidewalk Construction
Owner/Developer: Robert Kfoury

Dear Sir,

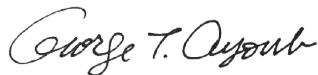
This is a request to the Planning Board to waive the construction of the proposed sidewalk within the limits of Bentley Estates II – second phase, Westport, MA. It is noted that a sidewalk at this location is not needed, and some abutting property owners are not in favor of its construction and its future snow removal. We prefer keeping this picturesque scenery visually charming as other recently constructed subdivisions in the Town of Westport.

Also, it is noted that phase one of the previously completed abutting subdivision of Bentley Estates (Bentley Lane) did not have a sidewalk within its limits.

Given that this subdivision is situated off a main roadway that has no sidewalk, thereby the vehicular traffic count is at a minimum; that will allow pedestrians to walk on the paved roadway surface at their own perils. Also, by eliminating the construction of new sidewalk, it will result in reducing future cost of its upkeep and maintenance in a remote area of the Town.

Your cooperation and assistance in this matter is greatly appreciated.

Sincerely,



George Ayoub, PE, LSIT

DEFINITIVE SUBDIVISION PLAN -BENTLEY ESTATES II - IN WESTPORT, MASSACHUSETTS

Town of Westport
Planning Board
856 Main Road
Westport, MA 02790
www.westport-ma.gov
Tel: (508) 636-1037
planning@westport-ma.gov
Fax: (508) 636-1031
Form C-1
Application No. 15-009-C-SP/H
Date: May 31, 2016

CERTIFICATE OF APPROVAL OF A DEFINITIVE PLAN

TOWN CLERK
TOWN OF WESTPORT
816 MAIN ROAD
WESTPORT, MA 02790

It is hereby certified by the Planning Board of the Town of Westport, Massachusetts, that at a duly called and properly posted meeting of said Planning Board, held on May 17, 2016 it was voted to approve a definitive subdivision plan entitled "Bentley Estates II Definitive Plan Map 5, Lots 16, 18, 50-68 in Westport Massachusetts prepared for Robert Kfoury" by: SITEC Inc. dated September 1, 2014 and revised through May 26, 2016 submitted by Robert Kfoury, Trustee, KRG Realty Trust and owned by Warren M. Messier, Trustee, KRG Realty Trust Map 5, Lot 16, originally filed with the Town Clerk on August 4, 2015 concerning the property located at Assessor's Map 5, Lots 16, 18, 50-68 located at the terminus of Bentley Lane showing 20 proposed residential lots, with waivers and conditions attached hereto and incorporated herein.

Waivers

- Section III (B, 1, d), Waive cost estimate.
- Section IV (A, 1, i), To waive the requirement for 25' corners at street line intersections.
- Section V (B, 2), To reduce the travelled way width to 22' for Whalon Way.
- Section V(C), Waive 20% stormwater reduction requirement

Conditions

- Homeowners Association: As a condition of approval of this subdivision, prior to endorsement of the definitive plan the Applicant shall create and properly fund a Homeowners Association. All purchasers of land within the subdivision shall be required to belong to the Homeowners Association, including property owners of land on the portion of Road formerly known as Hemlock Street.
 - The Homeowners Association shall be responsible for the maintenance, repairs and plowing of the subdivision roadways, unless accepted by the Town.
 - The Homeowners Association shall maintain permanent ownership of any drainage basins or ponds in the subdivision, including all pipes and other appurtenant devices, and shall have the permanent responsibility of maintaining, repairing and replacing said drainage systems, as necessary, unless accepted by the Town.
 - The Homeowners Association documents shall be reviewed and approved by the Planning Board, in consultation with Town Counsel (at the expense of the applicant), and the Homeowners Association shall have an initial fund that is deemed satisfactory to the Planning Board, in consultation with the Planning Board's technical consultant.
 - The Homeowners Association shall be responsible for the permanent maintenance of the center island in Whalon Way.
- Road Maintenance and Snow Removal: Applicant shall be responsible for periodic maintenance and snow removal until such time a properly funded Homeowners Association is created and is properly functioning.
- Fire Protection: Access to/from the fire protection tank must be maintained at all times for Fire Department use in the event of an emergency.
- Roof run-off recharge systems are required for each dwelling
- Construction work on the subdivision road and utilities shall only be done between the hours of 7:00 a.m. and 6:00 p.m., Monday - Saturday.
- The applicant shall provide the Town legal access to the proposed stormwater and fire protection systems.
- Maximum clearing area per lot shall be limited to 40,000 s.f. excluding drainage areas or less as per the individual lots on the approved plan.
- Add the following notes to the Plan

a. "Subject to a Special Permit pursuant to the Inclusionary Housing By-Law, Article 13, granted on May 17, 2016, 2016, by the Westport Planning Board and Recorded in the Bristol County Southern District Registry of Deeds in Book _____ Page _____

b. "No dwelling shall be built on any lot without first securing from the Board of Health a permit for an approved Title-V compliant Soil Absorption System septic disposal system"

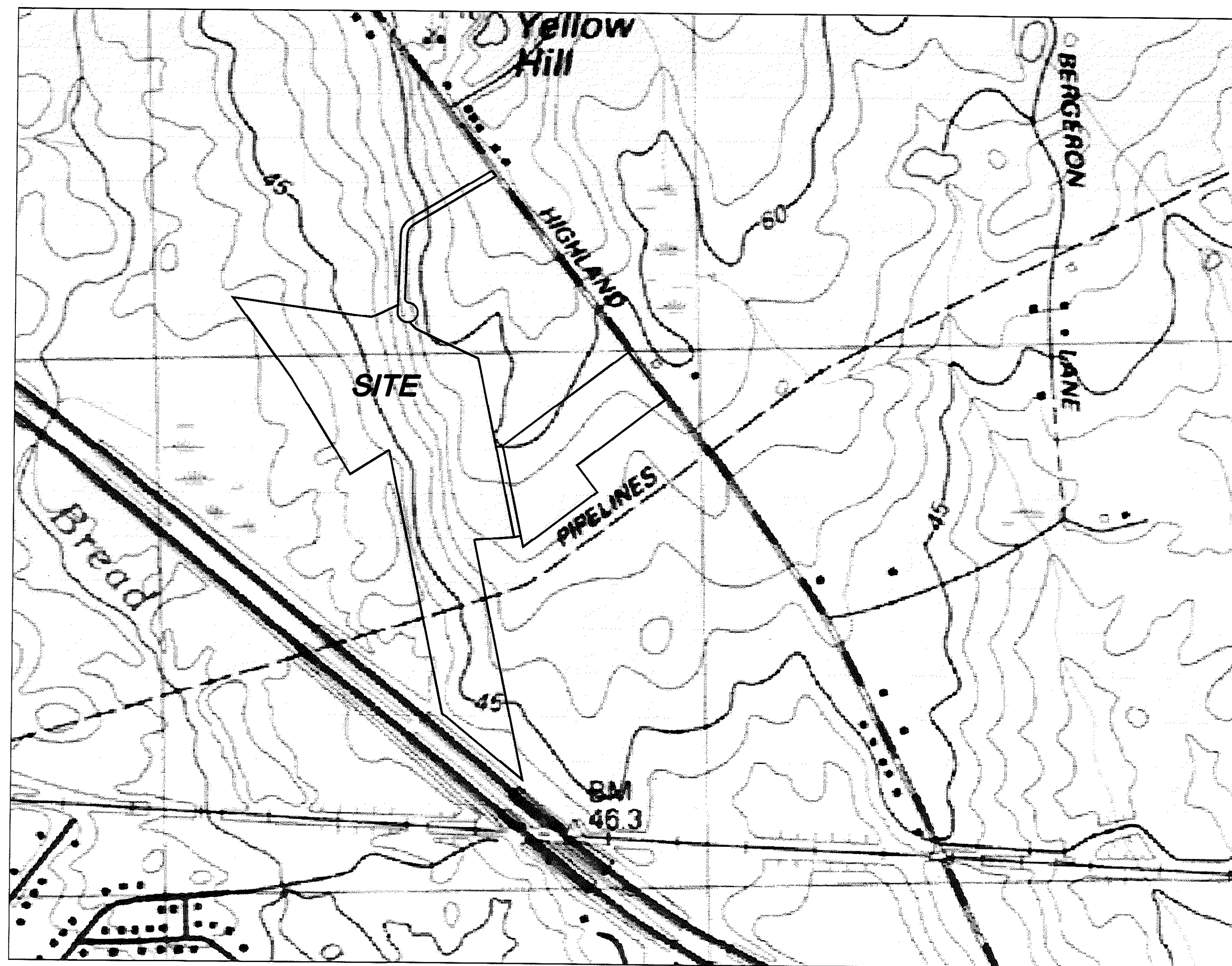
c. Areas identified as "Restricted Area" have been identified as part of the filing with the MA Division of Fisheries & Wildlife pursuant to 321 CMR 10.18. Any changes to the proposed project or any additional work beyond that shown on the site plans may require an additional filing with the Division pursuant to the Massachusetts Endangered Species Act.

9. The cul-de-sac on Whalon Way shall have a pervious center island with a radius of 28'. The island shall be drivable and shall support H-20 loading. The Planning Board shall approve the design of the vegetative pervious center prior to endorsement.

Endorsement of the approval is conditional upon the provision of a performance guarantee, duly executed and approved, to be noted on the plan and recorded with the Bristol County Southern District Registry of Deeds, said form of guarantee may be varied from time to time by the applicant subject to agreement on the adequacy and amount of said guarantee by the board.

NOTE TO TOWN CLERK: The Planning board should be notified immediately of any appeal to the superior court on this subdivision approval made within the statutory twenty (20) day appeal period.

If no appeal is filed with your office the Planning Board should be notified at the end of the twenty (20) day appeal period in order that the plan(s) may be endorsed.



LOCUS MAP

PLAN INDEX

SHEET	COVER	CONSTRUCTION DRAWINGS
LOTING PLANS(RECORDABLE PLANS)		
SHEET 1 OF 17	COVER	
SHEET 2 OF 17	OVERALL DEFINITIVE SUBDIVISION	SHEET 8 OF 17
SHEET 3 OF 17	DEFINITIVE SUBDIVISION	SHEET 9 OF 17
SHEET 4 OF 17	DEFINITIVE SUBDIVISION	SHEET 10 OF 17
SHEET 5 OF 17	DEFINITIVE SUBDIVISION	SHEET 11 OF 17
SHEET 6 OF 17	DEFINITIVE SUBDIVISION	SHEET 12 OF 17
SHEET 7 OF 17	DEFINITIVE SUBDIVISION	SHEET 13 OF 17
		SHEET 14 OF 17
		SHEET 15 OF 17
		SHEET 16 OF 17
		SHEET 17 OF 17

NOTES:

- 6" x 6" CONCRETE BOUNDS SHALL BE SET ON EXTERIOR STREET LINES AT ALL ANGLE POINTS, INTERSECTIONS AND AT ALL CURVES.
- ALL LOTS WILL BE SERVICED BY INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND PRIVATE DRINKING WATER WELLS.
- ALL LOTS REQUIRE THAT ROOF RUNOFF SHALL BE COLLECTED VIA DOWNSPOUTS AND RECHARGED INTO THE GROUND WITH ROOF DRAIN DRYWELLS.
- ALL WETLAND RESOURCE AREAS SHOWN HAVE BEEN APPROVED THROUGH AN ORDER OF RESOURCE AREA DELINEATION ISSUED BY THE WESTPORT CONSERVATION COMMISSION ON 11-13-14. DEP FILE NUMBER 80-2146

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY TO TOWN OF WESTPORT DEPARTMENT OF PUBLIC WORKS AND PLANNING BOARD CONSTRUCTION STANDARDS.
- ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
- PERMANENT STREET SIGNS SHALL BE INSTALLED AS REQUIRED.
- TELEPHONE, ELECTRIC, AND CABLE TV UTILITIES SHALL BE INSTALLED BELOW GROUND IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY STANDARDS.
- OPENINGS FOR DRIVEWAYS SHALL BE GRADED TO PREVENT NORMAL RUN-OFF WATER FROM ENTERING THE DRIVEWAY OUTSIDE OF THE STREET RIGHT-OF-WAY. ALL DRIVEWAY APRONS SHALL BE PAVED.
- ALL DRAINAGE SWALES SHALL BE LOAM AND SEEDED IN ORDER TO PROVIDE STABLE VEGETATIVE COVER AND SHALL HAVE A MINIMUM BASE WIDTH OF AT LEAST TWICE THE DIAMETER OF THE DRAINAGE PIPE.
- AN ASBUILT SET OF PLANS WILL BE PROVIDED TO PLANNING BOARD SHOWING ALL ROAD WORK AND THE LOCATION OF ALL UTILITIES. A LETTER FROM A REGISTERED LAND SURVEYOR WILL BE PROVIDED STATING THAT ALL BOUNDS HAVE BEEN SET ACCURATELY AND IN ACCORDANCE WITH THE APPROVED PLANS.
- THE PROPOSED STREETS SHOWN ON THIS PLAN ARE PRIVATE STREETS AND SHALL REMAIN PRIVATE UNTIL SUCH TIME THE STREETS ARE ACCEPTED BY A MAJORITY VOTE AT AN ANNUAL TOWN MEETING. WHILE MOST COMPLETED STREETS BUILT TO TOWN STANDARDS ARE ACCEPTED, IT STILL REQUIRES AN AFFIRMATIVE VOTE AT AT TOWN MEETING AND ACCEPTANCE IS NOT GUARANTEED. MAINTENANCE AND CARE OF PRIVATE STREETS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR HOMEOWNERS.

PLANNING BOARD

THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR RESCINDED, NOR THE PLAN CHANGED.

[Signature] 8/15/17

TOWN OF WESTPORT PLANNING BOARD
APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
CHAIRMAN <i>[Signature]</i>	
VICE CHAIRMAN <i>[Signature]</i>	
MEMBER <i>[Signature]</i>	
MEMBER <i>[Signature]</i>	
DATE: 8/23/16	
PREL. DATE FILED: August 11, 2015	
DEF. DATE FILED: September 22, 2016	
PUBLIC HEARING: May 17, 2016	
DEF. PLAN APPROVED: 8/23/16	
DEF. PLAN ENDORSED	

- SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 7/23/2016 RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON June 3, 2016 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

[Signature] 8/19/2016
TOWN CLERK, WESTPORT, MA

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS

[Signature] DATE 8/19/2016

SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

WAIVERS:

- SEC III (B)d TO WAIVE THE REQUIRED COST ESTIMATE.
- SEC IV(A) i. TO WAIVE THE REQUIREMENT FOR 25' CORNERS AT STREET LINE INTERSECTIONS.
- SEC V(C) TO WAIVE THE 20% STORMWATER REDUCTION REQUIREMENT FOR PEAK FLOW RATES AT THE SUBDIVISION BOUNDARY. NO INCREASE IN STORMWATER PEAK FLOW IS ALLOWED AT THE SUBDIVISION BOUNDARY.
- SEC IV(A.2) TO WAIVE THE REQUIREMENTS OF TABLE "A" REQUIRING 26' OF PAVEMENT WIDTH (22' PROPOSED IN WHALON WAY)

PARCEL SUMMARY

MAP 5 LOT 18
MAP 5 LOT 16
MAP 5 LOT 50-68

OWNER:

MAP 5 LOT 16
OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

MAP 5 LOT 18
OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

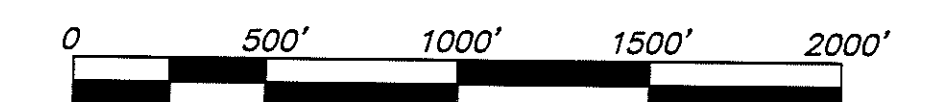
MAP 5 LOT 50-68
OWNER: WARREN M MESSIER
180 TICKLE ROAD
WESTPORT, MA

DEED REFERENCE:

DEED RECORDED IN BRISTOL COUNTY SOUTH REGISTRY OF DEEDS IN DEED BOOK 5179 PAGE 235. IN DEED BOOK 11756 PAGE 21. IN DEED BOOK 1947 PAGE 632.

ZONE -RESIDENCE/AGRICULTURE

MIN. AREA - 60,000 SQ.FT.
MIN. UPLAND AREA - 30,000 SQ.FT.
MIN. FRONTAGE - 150'
SETBACKS: FRONT - 25'
SIDE-10'
REAR-6'



"BENTLEY ESTATES II"
DEFINITIVE SUBDIVISION
MAP 5 LOT 16, 18, 50-68
IN
WESTPORT, MA

PREPARED FOR
ROBERT KFOURY
SCALE: 1"=500' SEPTEMBER 1, 2014
REVISED: 2-8-16, 5-26-16

PREPARED BY
SITEC
Civil and Environmental Engineering
Land Use Planning
SITEC, Inc.
449 Faunce Corner Road
North Dartmouth, Ma 02747
(508) 998-2125
FAX (508) 998-7554



NOTES:

- 6" x 6" CONCRETE BOUNDS SHALL BE SET ON EXTERIOR STREET LINES AT ALL ANGLE POINTS, INTERSECTIONS AND AT ALL CURVES.
- ALL LOTS WILL BE SERVICED BY INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND PRIVATE DRINKING WATER WELLS.
- ALL LOTS REQUIRE THAT ROOF RUNOFF SHALL BE COLLECTED VIA DOWNSPOUTS AND RECHARGED INTO THE GROUND WITH ROOF DRAIN DRYWELLS.
- ALL WETLAND RESOURCE AREAS SHOWN HAVE BEEN APPROVED THROUGH AN ORDER OF RESOURCE AREA DELINEATION ISSUED BY THE WESTPORT CONSERVATION COMMISSION ON 11-13-14. DEP FILE NUMBER 80-2146

FOR REGISTRY USE ONLY

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY TO TOWN OF WESTPORT DEPARTMENT OF PUBLIC WORKS AND PLANNING BOARD CONSTRUCTION STANDARDS.
- ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
- PERMANENT STREET SIGNS SHALL BE INSTALLED AS REQUIRED.
- TELEPHONE, ELECTRIC, AND CABLE TV UTILITIES SHALL BE INSTALLED BELOW GROUND IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY STANDARDS.
- OPENINGS FOR DRIVEWAYS SHALL BE GRADED TO PREVENT NORMAL RUN-OFF WATER FROM ENTERING THE DRIVEWAY OUTSIDE OF THE STREET RIGHT-OF-WAY. ALL DRIVEWAY APRONS SHALL BE PAVED.
- ALL DRAINAGE SWALES SHALL BE LOAM AND SEEDED IN ORDER TO PROVIDE STABLE VEGETATIVE COVER AND SHALL HAVE A MINIMUM BASE WIDTH OF AT LEAST TWICE THE DIAMETER OF THE DRAINAGE PIPE.
- AN ASBUILT SET OF PLANS WILL BE PROVIDED TO PLANNING BOARD SHOWING ALL ROAD WORK AND THE LOCATION OF ALL UTILITIES. A LETTER FROM A REGISTERED LAND SURVEYOR WILL BE PROVIDED STATING THAT ALL BOUNDS HAVE BEEN SET ACCURATELY AND IN ACCORDANCE WITH THE APPROVED PLANS.
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PLANNING BOARD

THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR RESCINDED, NOR THE PLAN CHANGED.
Ann K. Hart 8/13/17

TOWN OF WESTPORT PLANNING BOARD
 APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
CHAIRMAN <i>William J. Russo</i>	PREL. DATE FILED: August 4, 2015
VIC. CHAIRMAN <i>Andrew J. ...</i>	DEF. DATE FILED: September 22, 2015
<i>...</i>	PUBLIC HEARING May 17, 2016
DATE: 8/23/16	DEF. PLAN APPROVED 8/23/16
	DEF. PLAN ENDORSED

- SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 7/25/16 RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON June 3, 2016 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

Marlene M. ... 8/19/16
 TOWN CLERK, WESTPORT, MA DATE

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
Sm JH DATE 8/16/16

SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

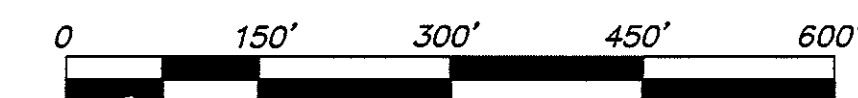
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PARCEL SUMMARY

MAP 5 LOT 18
 MAP 5 LOT 16
 MAP 5 LOT 50-68
OWNER:
 MAP 5 LOT 16
 OWNER: ROBERT G KFOURY, TRS.
 KRG REALTY TRUST
 306 MCGOWAN STREET
 FALL RIVER, MA
 MAP 5 LOT 18
 OWNER: ROBERT G KFOURY, TRS.
 KRG REALTY TRUST
 306 MCGOWAN STREET
 FALL RIVER, MA
 MAP 5 LOT 50-68
 OWNER: WARREN M MESSIER
 180 TICKLE ROAD
 WESTPORT, MA
DEED REFERENCE:
 DEED RECORDED IN BRISTOL COUNTY SOUTH REGISTRY OF DEEDS
 IN DEED BOOK 5179 PAGE 235.
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ZONE - RESIDENCE / AGRICULTURE
 MIN. AREA - 60,000 SQ.FT.
 MIN. UPLAND AREA - 30,000 SQ.FT.
 MIN. FRONTAGE - 150'
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 SIDE - 10'
 REAR - 6'



"BENTLEY ESTATES II"
 DEFINITIVE SUBDIVISION
 MAP 5 LOT 16, 18, 50-68

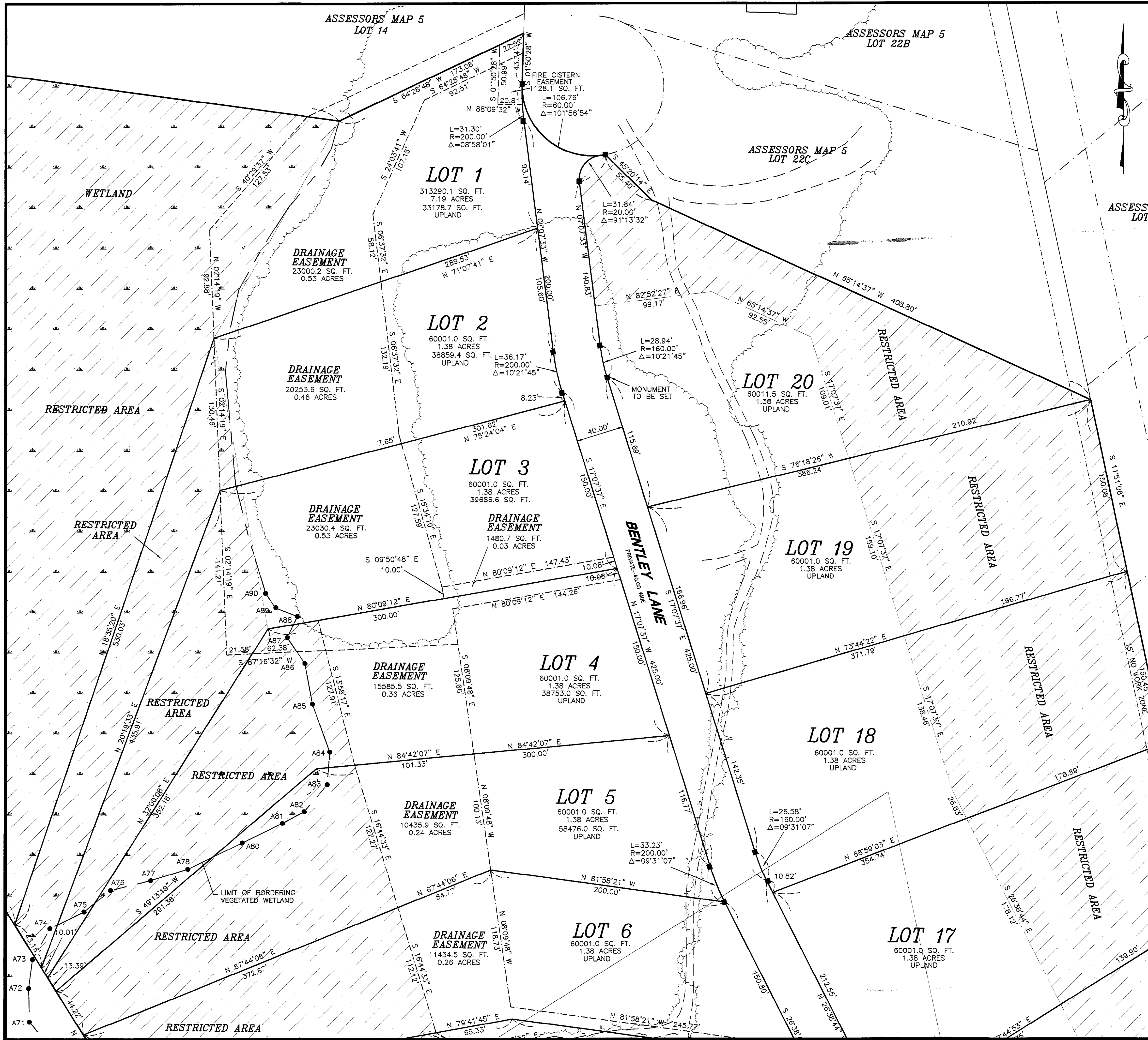
IN
 WESTPORT, MA

PREPARED FOR
 ROBERT KFOURY

SCALE: 1"=150' SEPTEMBER 1, 2014
 REVISED: 2-8-16, 5-26-16

PREPARED BY

SITEC SITEC, Inc.
 Civil and Environmental Engineering Land Use Planning 449 Faunce Corner Road
 North Dartmouth, MA 02747
 (508) 998-2125 FAX (508) 998-7554



NOTES:

- 6" x 6" CONCRETE BOUNDS SHALL BE SET ON EXTERIOR STREET LINES AT ALL ANGLE POINTS, INTERSECTIONS AND AT ALL CURVES.
- ALL LOTS WILL BE SERVICED BY INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND PRIVATE DRINKING WATER WELLS.
- ALL LOTS REQUIRE THAT ROOF RUNOFF SHALL BE COLLECTED VIA DOWNSPOUTS AND RECHARGED INTO THE GROUND WITH ROOF DRAIN DRYWELLS.
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GENERAL NOTES

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PLANNING BOARD
 THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR RESCINDED, NOR THE PLAN CHANGED.
Ann K. Hallett 8/15/17

TOWN OF WESTPORT PLANNING BOARD
 APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
<i>[Signature]</i>	PREL. DATE FILED: August 4, 2015
<i>[Signature]</i>	DEF. DATE FILED: September 22, 2015
<i>[Signature]</i>	PUBLIC HEARING: May 17, 2016
<i>[Signature]</i>	DEF. PLAN APPROVED: 8/23/16
<i>[Signature]</i>	DEF. PLAN ENDORSED:
DATE: 8/23/16	

SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 7/23/16 RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON 8/23/2016 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

[Signature] 8/19/16
 TOWN CLERK, WESTPORT, MA DATE

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
[Signature] DATE 8/23/16

SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

WAIVERS:

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 MAP 5 LOT 16
 MAP 5 LOT 50-68

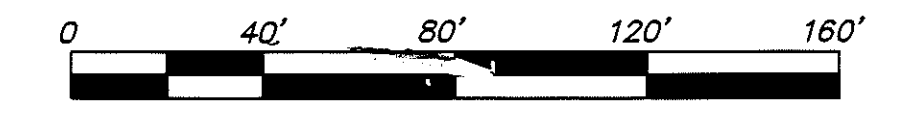
OWNER:
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 OWNER: ROBERT G KFOURY, TRS.
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 306 MCGOWAN STREET
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 OWNER: ROBERT G KFOURY, TRS.
 KRG REALTY TRUST
 306 MCGOWAN STREET
 FALL RIVER, MA

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 OWNER: WARREN M MESSIER
 180 TICKLE ROAD
 WESTPORT, MA

DEED REFERENCE:
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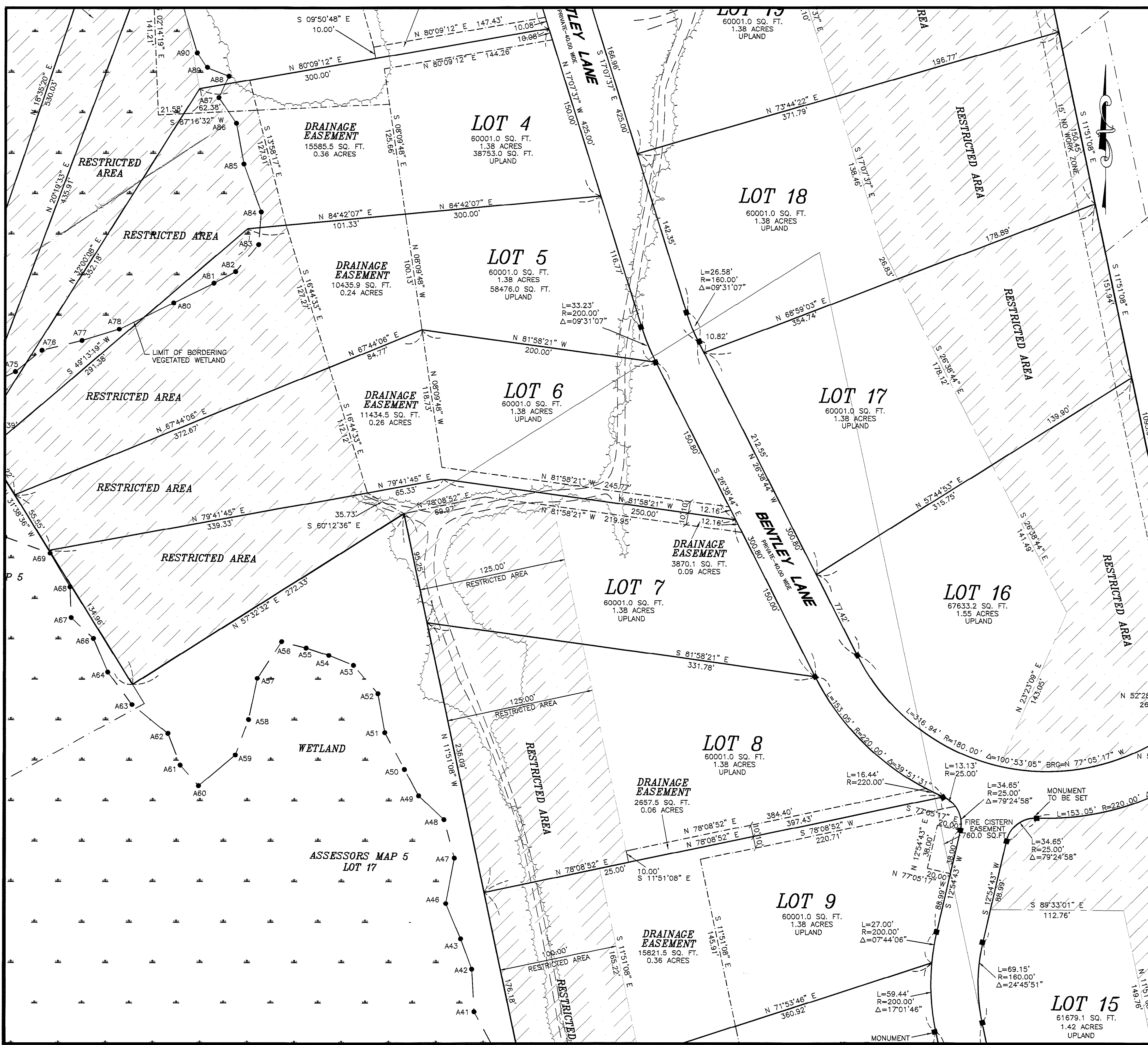


"BENTLEY ESTATES II"
 DEFINITIVE SUBDIVISION
 MAP 5 LOT 16, 18, 50-68
 IN
 WESTPORT, MA

PREPARED FOR
 ROBERT KFOURY
 SCALE: 1"=100' SEPTEMBER 1, 2014
 REVISED: 2-8-16, 5-26-16
 PREPARED BY

SITEC
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 Land Use Planning

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 449 Faunce Corner Road
 North Dartmouth, MA 02747
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NOTES:

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GENERAL NOTES

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PLANNING BOARD

THIS PLAN HAS NOT BEEN MODIFIED, AMENDED, OR RESCINDED, NOR THE PLAN CHANGED.

TOWN OF WESTPORT PLANNING BOARD
APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
<i>[Signature]</i>	PREL. DATE FILED: AUGUST 4, 2015
<i>[Signature]</i>	DEF. DATE FILED: SEPTEMBER 22, 2015
<i>[Signature]</i>	PUBLIC HEARING MAY 12, 2016
<i>[Signature]</i>	DEF. PLAN APPROVED 8/23/16
<i>[Signature]</i>	DEF. PLAN ENDORSED
DATE: 8/23/16	

SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 2/25/16 - RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON JUNE 3, 2016 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

[Signature] 8/19/16
TOWN CLERK, WESTPORT, MA DATE

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature] DATE 8/19/16

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WAIVERS:

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- SEC IV(A) 1 TO WAIVE THE REQUIREMENT FOR 25' CORNERS AT STREET LINE INTERSECTIONS.
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PARCEL SUMMARY

MAP 5 LOT 18
MAP 5 LOT 16
MAP 5 LOT 50-68
OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

MAP 5 LOT 18
OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

MAP 5 LOT 50-68
OWNER: WARREN M MESSIER
180 TICKLE ROAD
WESTPORT, MA

DEED REFERENCE:
DEED RECORDED IN BRISTOL COUNTY SOUTH REGISTRY OF DEEDS
IN DEED BOOK 5179 PAGE 235.
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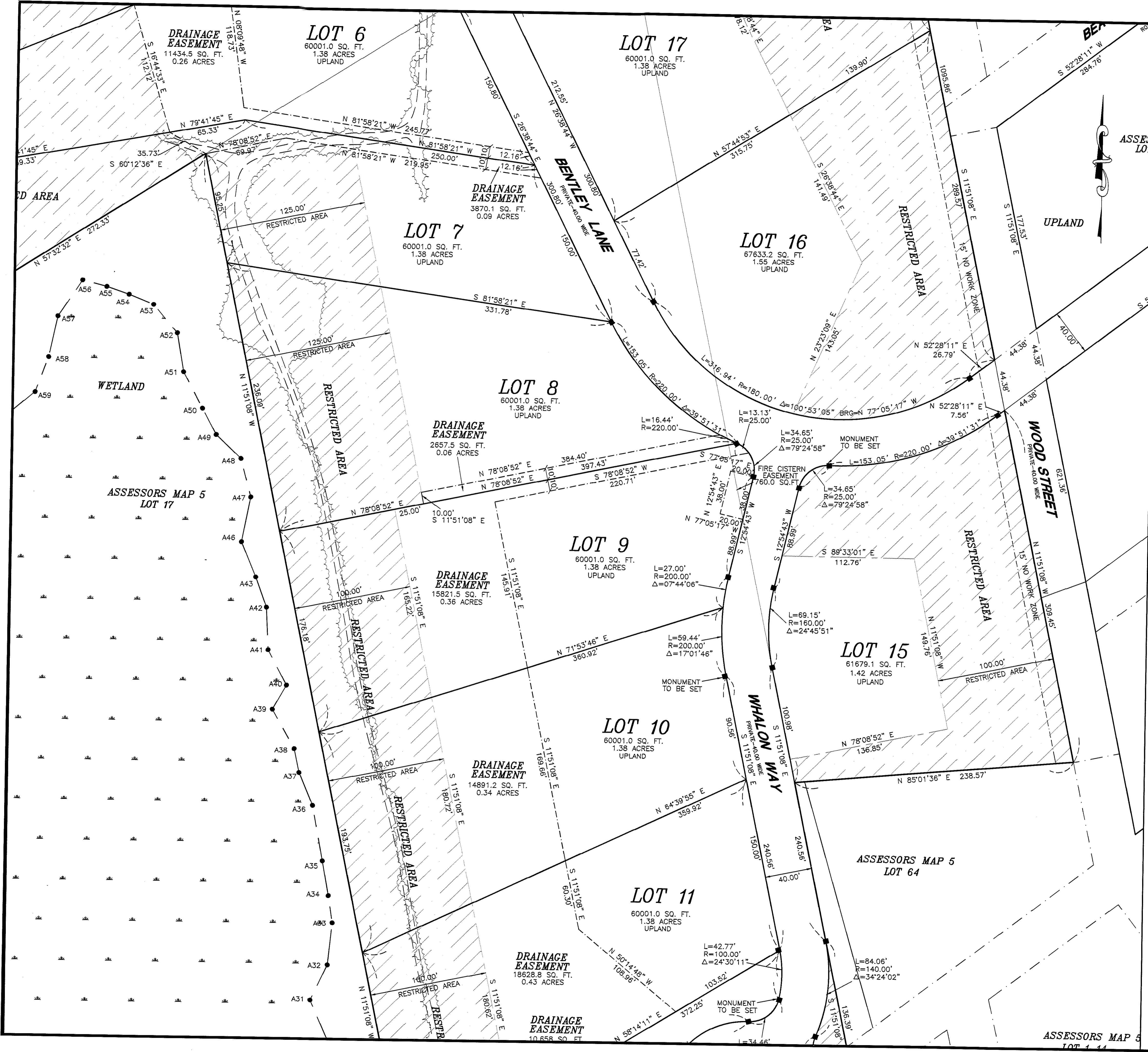


"BENTLEY ESTATES II"
DEFINITIVE SUBDIVISION
MAP 5 LOT 16, 18, 50-68
IN
WESTPORT, MA

PREPARED FOR
ROBERT KFOURY
SCALE: 1"=100' SEPTEMBER 1, 2014
REVISED: 2-8-16, 5-26-16
PREPARED BY

SITEC
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GENERAL NOTES

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PLANNING BOARD

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Ann L. Huber 8/15/17

TOWN OF WESTPORT PLANNING BOARD
APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
CHAIRMAN	<i>[Signature]</i>
MEMBER	<i>[Signature]</i>
MEMBER	<i>[Signature]</i>
MEMBER	<i>[Signature]</i>
MEMBER	<i>[Signature]</i>
DATE: 8/23/16	
PREL. DATE FILED: August 4, 2015	
DEF. DATE FILED: September 23, 2015	
PUBLIC HEARING: May 17, 2016	
DEF. PLAN APPROVED: 8/23/16	
DEF. PLAN ENDORSED:	

SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 7/25/16 - RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON JUNE 2, 2016 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

Meredith M. Samson 8/17/16
TOWN CLERK, WESTPORT, MA DATE

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature] DATE 8/14/16

SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

WAIVERS:

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MAP 5 LOT 16
MAP 5 LOT 50-68

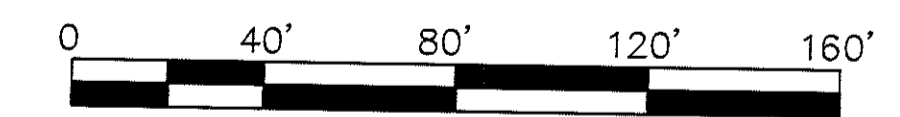
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OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

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OWNER: ROBERT G KFOURY, TRS.
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180 TICKLE ROAD
WESTPORT, MA

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SIDE - 10'
REAR - 6'



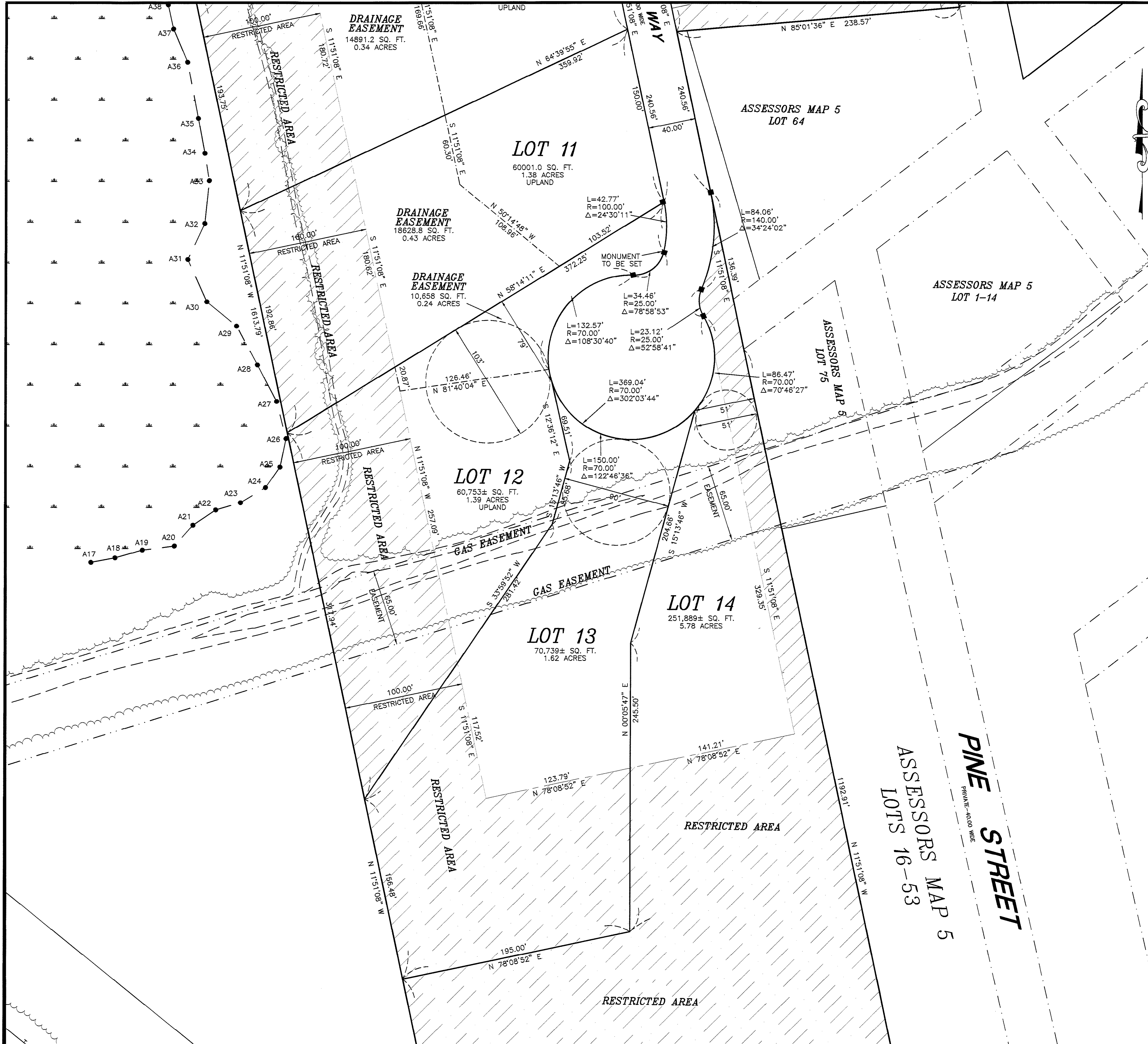
"BENTLEY ESTATES II"
DEFINITIVE SUBDIVISION
MAP 5 LOT 16, 18, 50-68
IN
WESTPORT, MA

PREPARED FOR
ROBERT KFOURY
SCALE: 1"=100' SEPTEMBER 1, 2014
REVISED: 2-8-16, 5-26-16
PREPARED BY

SITEC
Civil and Environmental Engineering
Land Use Planning

SITEC, Inc.
449 Founess Corner Road
North Dartmouth, MA 02747
(508) 998-2125
FAX (508) 998-7554





NOTES:

- 6" x 6" CONCRETE BOUNDS SHALL BE SET ON EXTERIOR STREET LINES AT ALL ANGLE POINTS, INTERSECTIONS AND AT ALL CURVES.
- ALL LOTS WILL BE SERVICED BY INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND PRIVATE DRINKING WATER WELLS.
- ALL LOTS REQUIRE THAT ROOF RUNOFF SHALL BE COLLECTED VIA DOWNSPOUTS AND RECHARGED INTO THE GROUND WITH ROOF DRAIN DRYWELLS.
- ALL WETLAND RESOURCE AREAS SHOWN HAVE BEEN APPROVED THROUGH AN ORDER OF RESOURCE AREA DELINEATION ISSUED BY THE WESTPORT CONSERVATION COMMISSION ON 11-13-14. DEP FILE NUMBER 80-2146

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY TO TOWN OF WESTPORT DEPARTMENT OF PUBLIC WORKS AND PLANNING BOARD CONSTRUCTION STANDARDS.
- ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
- PERMANENT STREET SIGNS SHALL BE INSTALLED AS REQUIRED.
- TELEPHONE, ELECTRIC, AND CABLE TV UTILITIES SHALL BE INSTALLED BELOW GROUND IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY STANDARDS.
- OPENINGS FOR DRIVEWAYS SHALL BE GRADED TO PREVENT NORMAL RUN-OFF WATER FROM ENTERING THE DRIVEWAY OUTSIDE OF THE STREET RIGHT-OF-WAY. ALL DRIVEWAY APRONS SHALL BE PAVED.
- ALL DRAINAGE SWALES SHALL BE LOAM AND SEEDED IN ORDER TO PROVIDE STABLE VEGETATIVE COVER AND SHALL HAVE A MINIMUM BASE WIDTH OF AT LEAST TWICE THE DIAMETER OF THE DRAINAGE PIPE.
- AN ASBUILT SET OF PLANS WILL BE PROVIDED TO PLANNING BOARD SHOWING ALL ROAD WORK AND THE LOCATION OF ALL UTILITIES. A LETTER FROM A REGISTERED LAND SURVEYOR WILL BE PROVIDED STATING THAT ALL BOUNDS HAVE BEEN SET ACCURATELY AND IN ACCORDANCE WITH THE APPROVED PLANS.
- THE PROPOSED STREETS SHOWN ON THIS PLAN ARE PRIVATE STREETS AND SHALL REMAIN PRIVATE UNTIL SUCH TIME THE STREETS ARE ACCEPTED BY A MAJORITY VOTE AT AN ANNUAL TOWN MEETING. WHILE MOST COMPLETED STREETS BUILT TO TOWN STANDARDS ARE ACCEPTED, IT STILL REQUIRES AN AFFIRMATIVE VOTE AT TOWN MEETING AND ACCEPTANCE IS NOT GUARANTEED. MAINTENANCE AND CARE OF PRIVATE STREETS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR HOMEOWNERS.

FOR REGISTRY USE ONLY

PLANNING BOARD
 THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR RESCINDED, NOR THE PLAN CHANGED.
 June 11, 2016 8/15/17

TOWN OF WESTPORT PLANNING BOARD
 APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
CHAIRMAN <i>[Signature]</i>	PREL. DATE FILED: August 4, 2015
MEMBER <i>[Signature]</i>	DEF. DATE FILED: SEPTEMBER 22, 2015
MEMBER <i>[Signature]</i>	PUBLIC HEARING MAY 17, 2016
MEMBER <i>[Signature]</i>	DEF. PLAN APPROVED 8/23/16
MEMBER <i>[Signature]</i>	DEF. PLAN ENDORSED
DATE: 9/23/16	

SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 7/25/16 RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON JUNE 3, 2016 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

[Signature] 8/19/16
 TOWN CLERK, WESTPORT, MA DATE

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature] DATE 9/16/16

SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

WAIVERS:

- SEC III (B)d TO WAIVE THE REQUIRED COST ESTIMATE.
- SEC IV(A) i TO WAIVE THE REQUIREMENT FOR 25' CORNERS AT STREET LINE INTERSECTIONS.
- SEC V(C) TO WAIVE THE 20% STORMWATER REDUCTION REQUIREMENT FOR PEAK FLOW RATES AT THE SUBDIVISION BOUNDARY. NO INCREASE IN STORMWATER PEAK FLOW IS ALLOWED AT THE SUBDIVISION BOUNDARY.
- SEC IV(A.2) TO WAIVE THE REQUIREMENTS OF TABLE "A" REQUIRING 26' OF PAVEMENT WIDTH (22' PROPOSED IN WALON WAY)

PARCEL SUMMARY

MAP 5 LOT 18
 MAP 5 LOT 16
 MAP 5 LOT 50-68
OWNER:
 MAP 5 LOT 16
 OWNER: ROBERT G KFOURY, TRS.
 KRQ REALTY TRUST
 306 MCGOWAN STREET
 FALL RIVER, MA
 MAP 5 LOT 18
 OWNER: ROBERT G KFOURY, TRS.
 KRQ REALTY TRUST
 306 MCGOWAN STREET
 FALL RIVER, MA
 MAP 5 LOT 50-68
 OWNER: WARREN M MESSIER
 180 TICKLE ROAD
 WESTPORT, MA

DEED REFERENCE:
 DEED RECORDED IN BRISTOL COUNTY SOUTH REGISTRY OF DEEDS
 IN DEED BOOK 5179 PAGE 235.
 IN DEED BOOK 11756 PAGE 21.
 IN DEED BOOK 1947 PAGE 632.

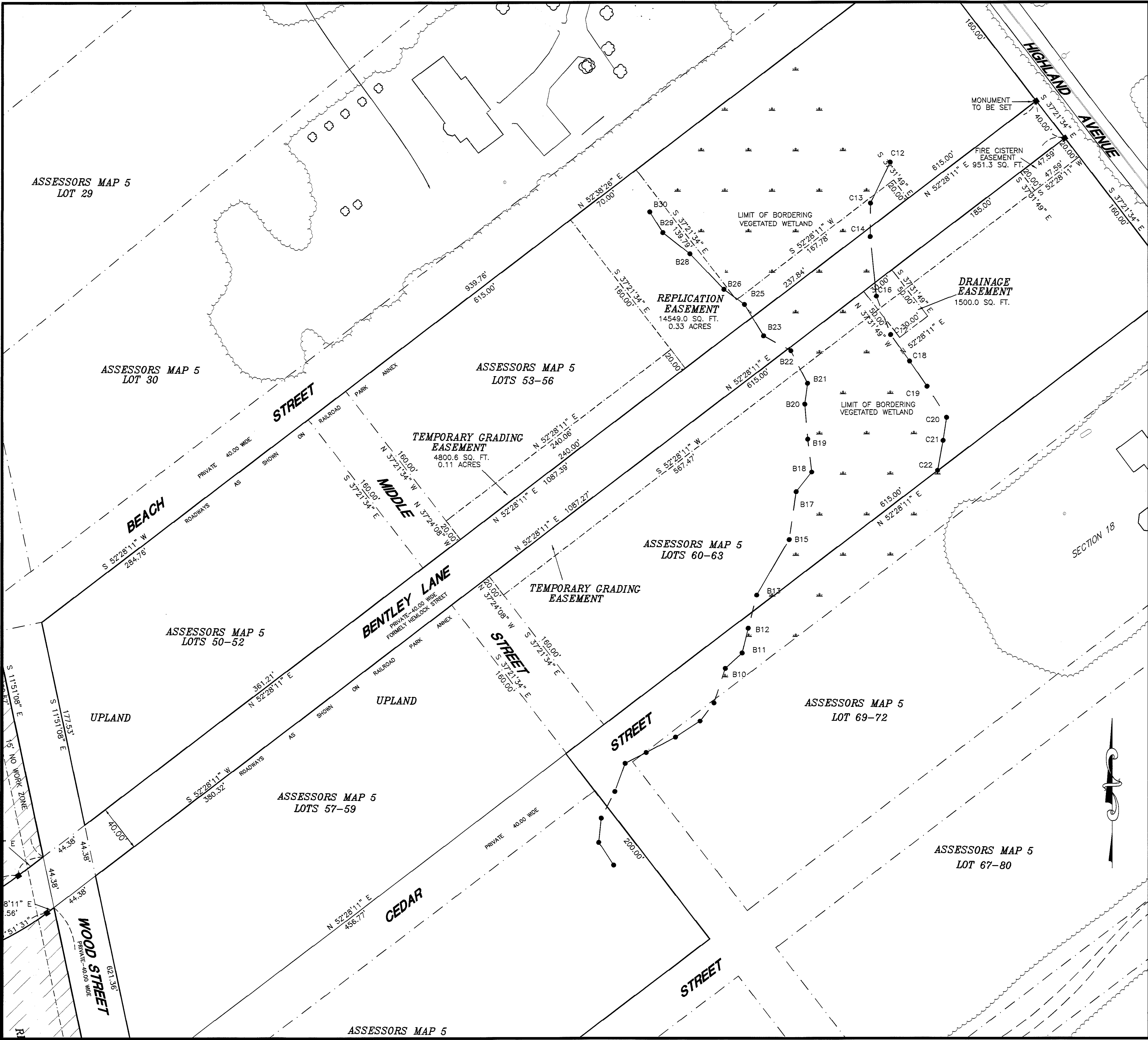
ZONE - RESIDENCE / AGRICULTURE
 MIN. AREA - 60,000 SQ.FT.
 MIN. UPLAND AREA - 30,000 SQ.FT.
 MIN. FRONTAGE - 150'
 SETBACKS: FRONT - 25'
 SIDE - 10'
 REAR - 6'



"BENTLEY ESTATES II"
 DEFINITIVE SUBDIVISION
 MAP 5 LOT 16, 18, 50-68
 IN
 WESTPORT, MA

PREPARED FOR
ROBERT KFOURY
 SCALE: 1"=100'
 REVISED: 2-8-16, 5-26-16
 PREPARED BY

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 North Dartmouth, MA 02747
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PLANNING BOARD
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James H. Hester 8/15/17

TOWN OF WESTPORT PLANNING BOARD
 APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
<i>[Signature]</i>	CHAIRMAN
<i>[Signature]</i>	VICED CHAIRMAN
<i>[Signature]</i>	MEMBER
<i>[Signature]</i>	MEMBER
<i>[Signature]</i>	MEMBER
<i>[Signature]</i>	MEMBER
DATE: 8/23/16	DEF. PLAN ENDORSED

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I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON August 3, 2016 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

[Signature] 8/17/16
 TOWN CLERK, WESTPORT, MA DATE

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature] DATE *[Signature]*

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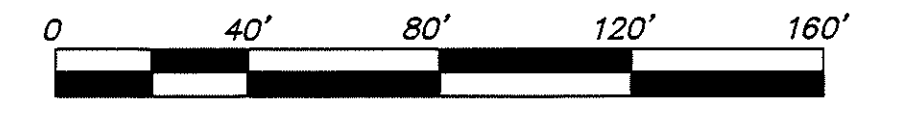
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PARCEL SUMMARY

MAP 5 LOT 18
 MAP 5 LOT 18
 MAP 5 LOT 50-68
 OWNER:
 MAP 5 LOT 16
 OWNER: ROBERT G KFOURY, TRS.
 KRG REALTY TRUST
 306 MCGOWAN STREET
 FALL RIVER, MA
 MAP 5 LOT 18
 OWNER: ROBERT G KFOURY, TRS.
 KRG REALTY TRUST
 306 MCGOWAN STREET
 FALL RIVER, MA
 MAP 5 LOT 50-68
 OWNER: WARREN M MESSIER
 180 TICKLE ROAD
 WESTPORT, MA
 DEED REFERENCE:
 DEED RECORDED IN BRISTOL
 COUNTY SOUTH REGISTRY OF DEEDS
 IN DEED BOOK 5179 PAGE 235.
 IN DEED BOOK 11756 PAGE 21.
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ZONE -RESIDENCE/AGRICULTURE
 MIN. AREA - 60,000 SQ.FT.
 MIN. UPLAND AREA - 30,000 SQ.FT.
 MIN. FRONTAGE - 150'
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 SIDE - 10'
 REAR - 6'



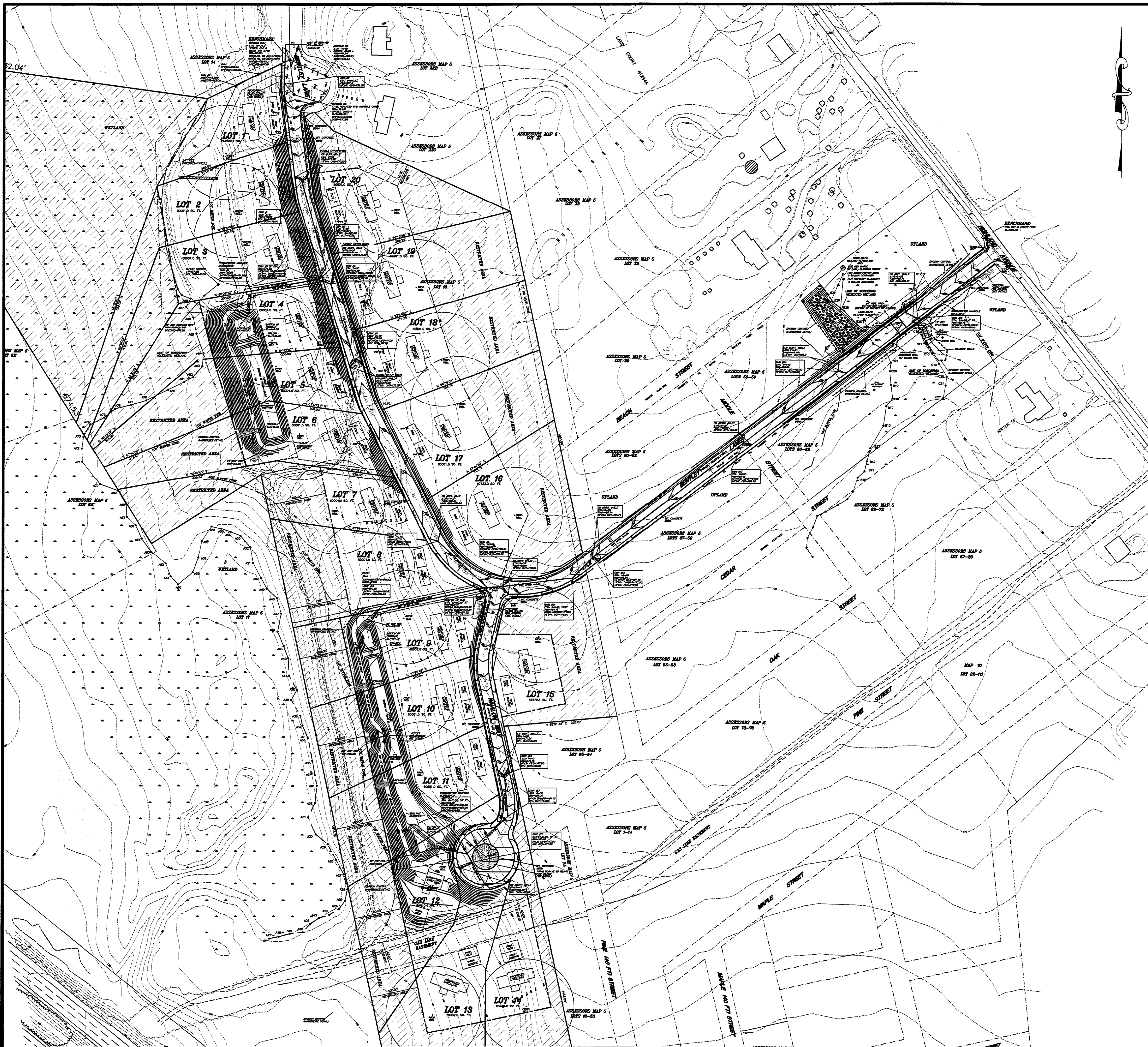
"BENTLEY ESTATES II"
 DEFINITIVE SUBDIVISION
 MAP 5 LOT 16, 18, 50-68
 IN
 WESTPORT, MA

PREPARED FOR
ROBERT KFOURY
 SCALE: 1"=100' SEPTEMBER 1, 2014
 REVISED: 2-8-16, 5-26-16
 PREPARED BY

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 449 Faunce Corner Road
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NOTES:

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FOR REGISTRY USE ONLY

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY TO TOWN OF WESTPORT DEPARTMENT OF PUBLIC WORKS AND PLANNING BOARD CONSTRUCTION STANDARDS.
2. ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
3. GRANITE OR CONCRETE MONUMENTS CONFORMING TO THE DEPARTMENT OF PUBLIC WORKS STANDARDS SHALL BE INSTALLED AS SHOWN ON THE DEFINITIVE PLANS.
4. PERMANENT STREET SIGNS SHALL BE INSTALLED AS REQUIRED.
6. TELEPHONE, ELECTRIC, AND CABLE TV UTILITIES SHALL BE INSTALLED BELOW GROUND IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY STANDARDS.
7. ALL LOTS WITHIN THE SUBDIVISION ARE TO BE SERVICED BY PRIVATE WELLS AND ON-SITE SEPTIC SYSTEMS.
8. OPENINGS FOR DRIVEWAYS SHALL BE GRADED TO PREVENT NORMAL RUN-OFF WATER FROM ENTERING THE DRIVEWAY OUTSIDE OF THE STREET RIGHT-OF-WAY. ALL DRIVEWAY APRONS SHALL BE PAVED.
10. ALL DRAINAGE SWALES SHALL BE LOAM AND SEEDED IN ORDER TO PROVIDE STABLE VEGETATIVE COVER AND SHALL HAVE A MINIMUM BASE WIDTH OF AT LEAST TWICE THE DIAMETER OF THE DRAINAGE PIPE.
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TOWN OF WESTPORT PLANNING BOARD
APPROVED UNDER "SUBDIVISION CONTROL LAW"

PLANNING BOARD
THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR RESCINDED, NOR THE PLAN CHANGED
APPROVED 8/15/16

BOARD MEMBERS	
<i>[Signature]</i> CHAIRMAN	<i>[Signature]</i> VICE CHAIRMAN
<i>[Signature]</i> MEMBER	<i>[Signature]</i> MEMBER
<i>[Signature]</i> MEMBER	<i>[Signature]</i> MEMBER
DATE: 8/23/16	DEF. PLAN APPROVED 8/23/16

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8/19/2016
[Signature]
TOWN CLERK, WESTPORT, MA

SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

WAIVERS:

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PARCEL SUMMARY

MAP 5 LOT 18
MAP 5 LOT 16
MAP 5 LOT 50-68

OWNER:

MAP 5 LOT 16
OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

MAP 5 LOT 18
OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

MAP 5 LOT 50-68
OWNER: WARREN M MESSIER
180 TICKLE ROAD
WESTPORT, MA

DEED REFERENCE:

DEED RECORDED IN BRISTOL COUNTY SOUTH REGISTRY OF DEEDS
IN DEED BOOK 5179 PAGE 235.
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ZONE - RESIDENCE/AGRICULTURE

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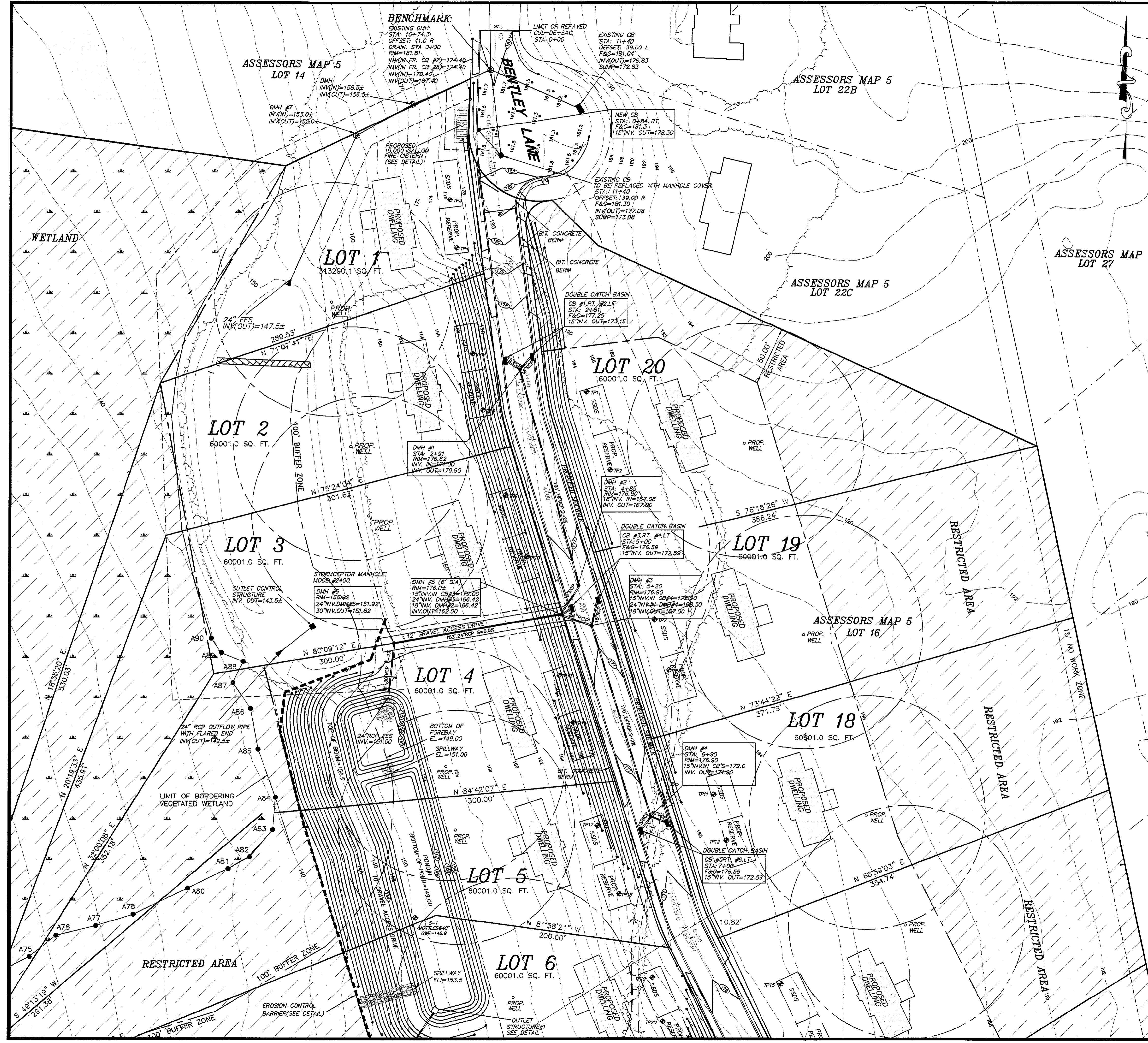
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MAP 5 LOT 16, 18, 50-68
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PREPARED FOR
ROBERT KFOURY

SCALE: 1"=100' JANUARY 1, 2015
REVISED: 2-8-16, 4-7-16, 5-26-16

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PLANNING BOARD

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TOWN OF WESTPORT PLANNING BOARD
APPROVED UNDER "SUBDIVISION CONTROL LAW"

John H. Hebert 8/15/17

BOARD MEMBERS	
CHAIRMAN <i>Richard D. Hess</i>	PREL. DATE FILED: August 14, 2015
VICED <i>Andrew</i>	DEF. DATE FILED: September 22, 2015
	PUBLIC HEARING MAY 17, 2016
	DEF. PLAN APPROVED 8/15/17
	DEF. PLAN ENDORSED
DATE: 8/23/16	

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Christine M. Sullivan 8/19/2016
TOWN CLERK, WESTPORT, MA

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Sullivan

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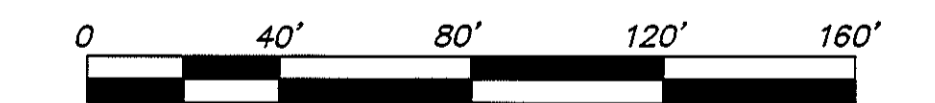
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306 MCGOWAN STREET
FALL RIVER, MA
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OWNER: ROBERT G KFOURY, TRS.
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306 MCGOWAN STREET
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OWNER: WARREN M MESSIER
180 TICKLE ROAD
WESTPORT, MA

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"BENTLEY ESTATES II"
DEFINITIVE SUBDIVISION
MAP 5 LOT 16, 18, 50-68
IN
WESTPORT, MA

PREPARED FOR

ROBERT KFOURY

SCALE: 1"=40' JANUARY 1, 2015
REVISED: 2-8-16, 4-7-16, 5-26-16

PREPARED BY

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SITEC, Inc.

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NOTES:

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4. TELEPHONE, ELECTRIC, AND CABLE TV UTILITIES SHALL BE INSTALLED BELOW GROUND IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY STANDARDS.
5. OPENINGS FOR DRIVEWAYS SHALL BE GRADED TO PREVENT NORMAL RUN-OFF WATER FROM ENTERING THE DRIVEWAY OUTSIDE OF THE STREET RIGHT-OF-WAY. ALL DRIVEWAY APRONS SHALL BE PAVED.
6. ALL DRAINAGE SWALES SHALL BE LOAM AND SEEDED IN ORDER TO PROVIDE STABLE VEGETATIVE COVER AND SHALL HAVE A MINIMUM BASE WIDTH OF AT LEAST TWICE THE DIAMETER OF THE DRAINAGE PIPE.
7. AN ASBUILT SET OF PLANS WILL BE PROVIDED TO PLANNING BOARD SHOWING ALL ROAD WORK AND THE LOCATION OF ALL UTILITIES. A LETTER FROM A REGISTERED LAND SURVEYOR WILL BE PROVIDED STATING THAT ALL BOUNDS HAVE BEEN SET ACCURATELY AND IN ACCORDANCE WITH THE APPROVED PLANS.
8. THE PROPOSED STREETS SHOWN ON THIS PLAN ARE PRIVATE STREETS AND SHALL REMAIN PRIVATE UNTIL SUCH TIME THE STREETS ARE ACCEPTED BY A MAJORITY VOTE AT AN ANNUAL TOWN MEETING. WHILE MOST COMPLETED STREETS BUILT TO TOWN STANDARDS ARE ACCEPTED, IT STILL REQUIRES AN AFFIRMATIVE VOTE AT AT TOWN MEETING AND ACCEPTANCE IS NOT GUARANTEED. MAINTENANCE AND CARE OF PRIVATE STREETS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR HOMEOWNERS.

FOR REGISTRY USE ONLY

PLANNING BOARD THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR RESCINDED, NOR THE PLAN CHANGED.

TOWN OF WESTPORT PLANNING BOARD APPROVED UNDER "SUBDIVISION CONTROL LAW"

Table with columns for Board Members (Chairman, Vice Chairman, Members) and a section for filing dates (Prel. Date Filed, Def. Date Filed, Public Hearing, etc.).

SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 7/25/16 RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD. I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON JUNE 3, 2016 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

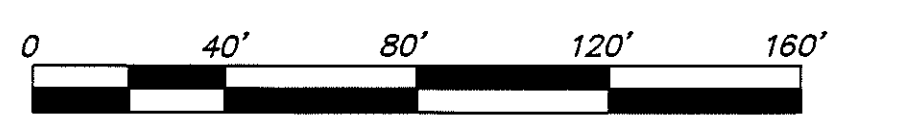
SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

WAIVERS:

- 1. SEC III (B)d TO WAIVE THE REQUIRED COST ESTIMATE.
2. SEC IV(A) i TO WAIVE THE REQUIREMENT FOR 25' CORNERS AT STREET LINE INTERSECTIONS.
3. SEC V(C) TO WAIVE THE 20% STORMWATER REDUCTION REQUIREMENT FOR PEAK FLOW RATES AT THE SUBDIVISION BOUNDARY. NO INCREASE IN STORMWATER PEAK FLOW IS ALLOWED AT THE SUBDIVISION BOUNDARY.
4. SEC IV(A,2) TO WAIVE THE REQUIREMENTS OF TABLE "A" REQUIRING 26' OF PAVEMENT WIDTH (22' PROPOSED IN WHALON WAY)

PARCEL SUMMARY

MAP 5 LOT 18
MAP 5 LOT 16
MAP 5 LOT 50-68
OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA
MAP 5 LOT 16
OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA
MAP 5 LOT 50-68
OWNER: WARREN M MESSIER
180 TICKLE ROAD
WESTPORT, MA
DEED REFERENCE:
DEED RECORDED IN BRISTOL COUNTY SOUTH REGISTRY OF DEEDS IN DEED BOOK 5179 PAGE 235. IN DEED BOOK 11756 PAGE 21. IN DEED BOOK 1947 PAGE 632.

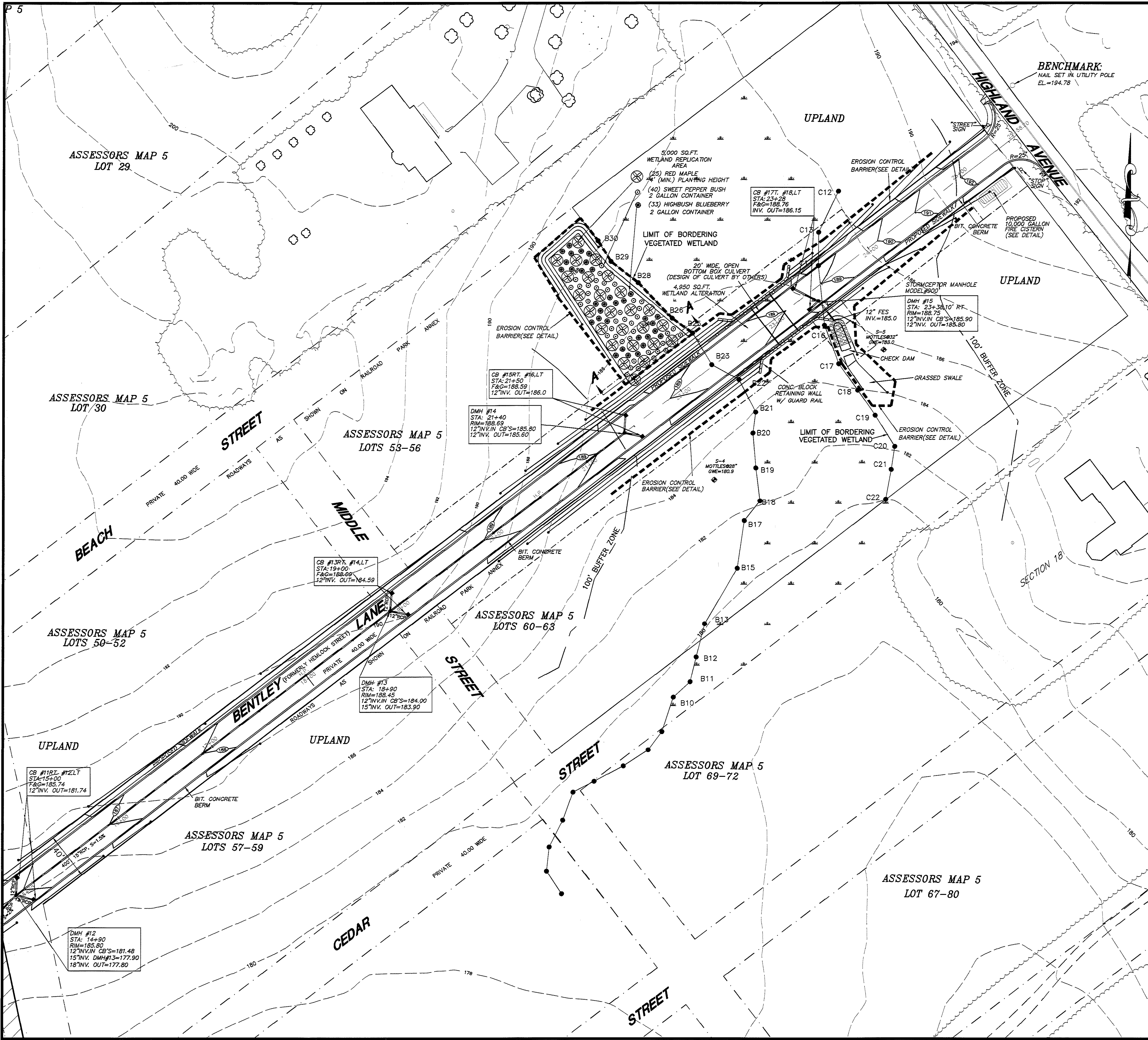


"BENTLEY ESTATES II" DEFINITIVE SUBDIVISION MAP 5 LOT 16, 18, 50-68 IN WESTPORT, MA

PREPARED FOR ROBERT KFOURY

SCALE: 1"=40' JANUARY 1, 2015 REVISED: 2-8-16, 4-7-16, 5-26-16

PREPARED BY SITEC, Inc. 449 Faunce Corner Road North Dartmouth, Ma 02747 (508) 998-2125 (508) 998-7554



NOTES:

- 6" x 6" CONCRETE BOUNDS SHALL BE SET ON EXTERIOR STREET LINES AT ALL ANGLE POINTS, INTERSECTIONS AND AT ALL CURVES.
- ALL LOTS WILL BE SERVICED BY INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND PRIVATE DRINKING WATER WELLS.
- ALL LOTS REQUIRE THAT ROOF RUNOFF SHALL BE COLLECTED VIA DOWNSPOUTS AND RECHARGED INTO THE GROUND WITH ROOF DRAIN DRYWELLS.
- ALL WETLAND RESOURCE AREAS SHOWN HAVE BEEN APPROVED THROUGH AN ORDER OF RESOURCE AREA DELINEATION ISSUED BY THE WESTPORT CONSERVATION COMMISSION ON 11-13-14. DEP FILE NUMBER 80-2146

FOR REGISTRY USE ONLY

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY TO TOWN OF WESTPORT DEPARTMENT OF PUBLIC WORKS AND PLANNING BOARD CONSTRUCTION STANDARDS.
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- ALL DRAINAGE SWALES SHALL BE LOAM AND SEEDED IN ORDER TO PROVIDE STABLE VEGETATIVE COVER AND SHALL HAVE A MINIMUM BASE WIDTH OF AT LEAST TWICE THE DIAMETER OF THE DRAINAGE PIPE.
- AN ABSULT SET OF PLANS WILL BE PROVIDED TO PLANNING BOARD SHOWING ALL ROAD WORK AND THE LOCATION OF ALL UTILITIES. A LETTER FROM A REGISTERED LAND SURVEYOR WILL BE PROVIDED STATING THAT ALL BOUNDS HAVE BEEN SET ACCURATELY AND IN ACCORDANCE WITH THE APPROVED PLANS.
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PLANNING BOARD

THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR RESCINDED, NOR THE PLAN CHANGED.
 [Signature] 8/15/17

TOWN OF WESTPORT PLANNING BOARD
 APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
CHAIRMAN [Signature]	PREL. DATE FILED: August 31, 2015
VIC. CHAIRMAN [Signature]	DEF. DATE FILED: SEPTEMBER 23, 2015
MEMBER [Signature]	PUBLIC HEARING MAY 17, 2016
MEMBER [Signature]	DEF. PLAN APPROVED 8/23/16
MEMBER [Signature]	DEF. PLAN ENDORSED
DATE: 8/23/16	

SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 7/25/16 RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON 8/23/16 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

[Signature] 8/19/2016
 TOWN CLERK, WESTPORT, MA

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
 [Signature]

SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

WAIVERS:

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- SEC IV(A) i TO WAIVE THE REQUIREMENT FOR 25' CORNERS AT STREET LINE INTERSECTIONS.
- SEC V(C) TO WAIVE THE 20% STORMWATER REDUCTION REQUIREMENT FOR PEAK FLOW RATES AT THE SUBDIVISION BOUNDARY. NO INCREASE IN STORMWATER PEAK FLOW IS ALLOWED AT THE SUBDIVISION BOUNDARY.
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 MAP 5 LOT 16
 MAP 5 LOT 50-68

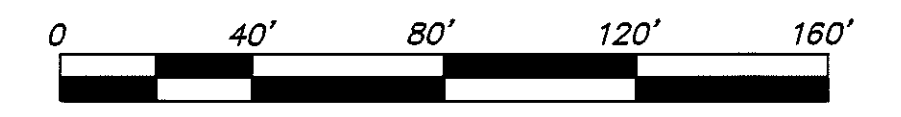
OWNER:
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 OWNER: ROBERT G KFOURY, TRS.
 KRG REALTY TRUST
 306 MCGOWAN STREET
 FALL RIVER, MA

MAP 5 LOT 18
 OWNER: ROBERT G KFOURY, TRS.
 KRG REALTY TRUST
 306 MCGOWAN STREET
 FALL RIVER, MA

MAP 5 LOT 50-68
 OWNER: WARREN M MESSIER
 180 TICKLE ROAD
 WESTPORT, MA

DEED REFERENCE:
 DEED RECORDED IN BRISTOL COUNTY SOUTH REGISTRY OF DEEDS
 IN DEED BOOK 5179 PAGE 235.
 IN DEED BOOK 11756 PAGE 21.
 IN DEED BOOK 1947 PAGE 632.

ZONE --RESIDENCE /AGRICULTURE
 MIN. AREA - 60,000 SQ.FT.
 MIN. UPLAND AREA - 30,000 SQ.FT.
 MIN. FRONTAGE - 150'
 SETBACKS: FRONT- 25'
 SIDE-10'
 REAR-6'



"BENTLEY ESTATES II"
 DEFINITIVE SUBDIVISION
 MAP 5 LOT 16, 18, 50-68
 IN

WESTPORT, MA

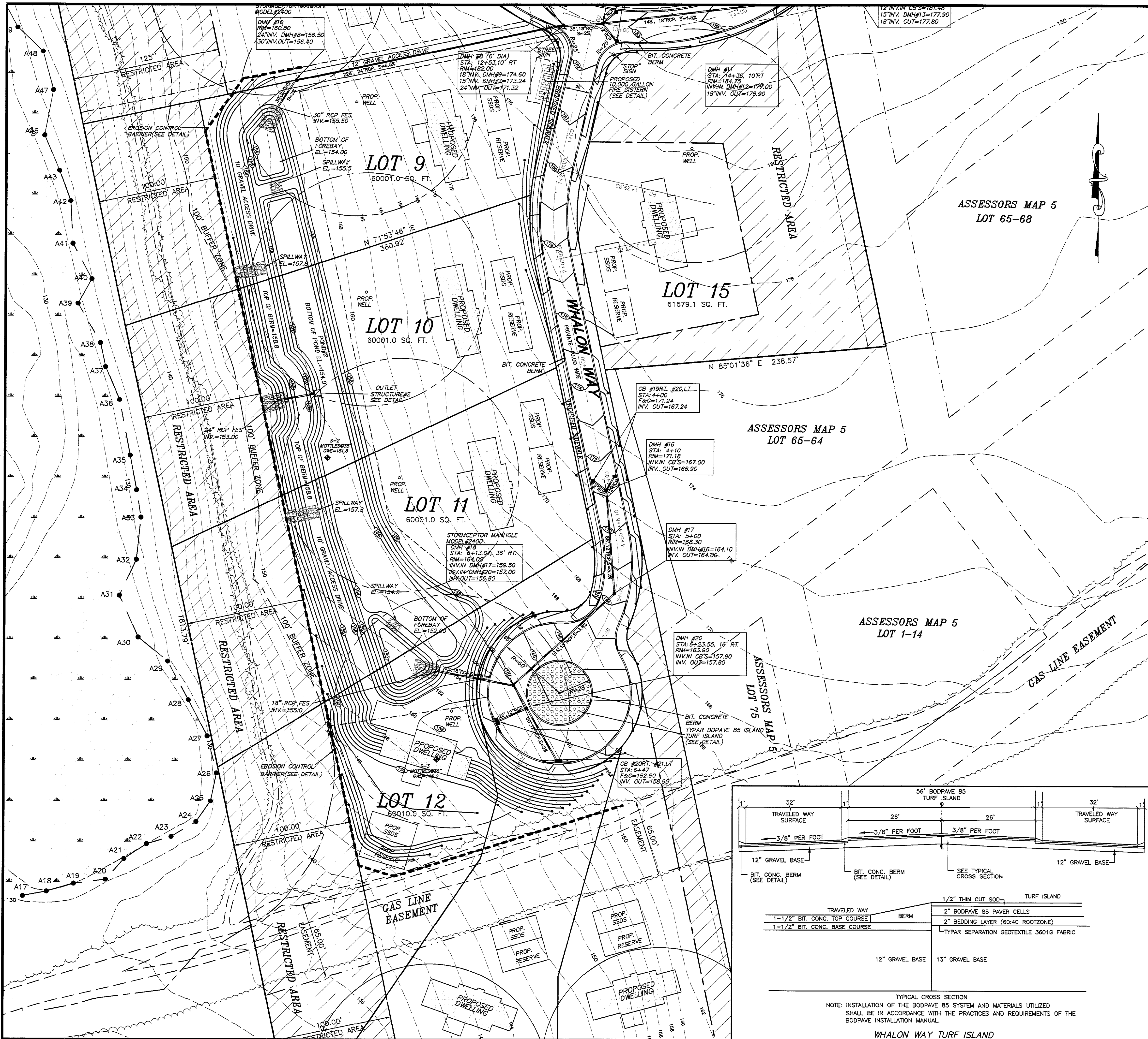
PREPARED FOR
ROBERT KFOURY

SCALE: 1"=40' JANUARY 1, 2015
 REVISED: 2-8-16, 4-7-16, 5-26-16

PREPARED BY
SITEC
 Civil and Environmental Engineering
 Land Use Planning

SITEC, Inc.
 449 Faunce Corner Road
 North Dartmouth, Ma 02747
 (508) 998-2125
 FAX (508) 998-7554





- NOTES:**
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PLANNING BOARD
 THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR RESCINDED, NOR THE PLAN CHANGED.
Ann K. Hester 8/15/16

TOWN OF WESTPORT PLANNING BOARD
 APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
<i>[Signature]</i> CHAIRMAN	
<i>[Signature]</i> VICE CHAIRMAN	
<i>[Signature]</i> MEMBER	
<i>[Signature]</i> MEMBER	
<i>[Signature]</i> MEMBER	
<i>[Signature]</i> MEMBER	
DATE: 8/23/16	
PREL. DATE FILED: 8/6/15	
DEF. DATE FILED: 8/17/16	
PUBLIC HEARING: 8/27/16	
DEF. PLAN APPROVED: 8/23/16	
DEF. PLAN ENDORSED: 8/23/16	

SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 2/23/16, RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

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Marlene M. Jensen 8/19/16
 TOWN CLERK, WESTPORT, MA

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature]

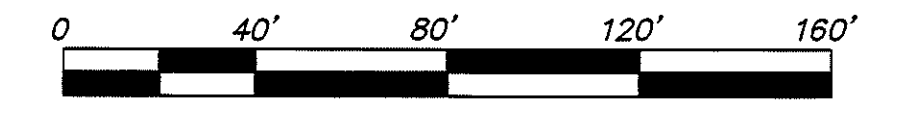
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PARCEL SUMMARY

- MAP 5 LOT 18
 MAP 5 LOT 16
 MAP 5 LOT 50-68
- OWNER:**
 MAP 5 LOT 16
 OWNER: ROBERT G KFOURY, TRS.
 KRQ REALTY TRUST
 306 MCGOWAN STREET
 FALL RIVER, MA
- MAP 5 LOT 18
 OWNER: ROBERT G KFOURY, TRS.
 KRQ REALTY TRUST
 306 MCGOWAN STREET
 FALL RIVER, MA
- MAP 5 LOT 50-68
 OWNER: WARREN M. MESSIER
 180 TICKLE ROAD
 WESTPORT, MA

DEED REFERENCE:
 DEED RECORDED IN BRISTOL COUNTY SOUTH REGISTRY OF DEEDS
 IN DEED BOOK 5179 PAGE 235.
 IN DEED BOOK 11756 PAGE 21.
 IN DEED BOOK 1947 PAGE 632.

ZONE - RESIDENCE / AGRICULTURE
 MIN. AREA - 60,000 SQ.FT.
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 MIN. FRONTAGE - 150'
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 SIDE - 10'
 REAR - 5'



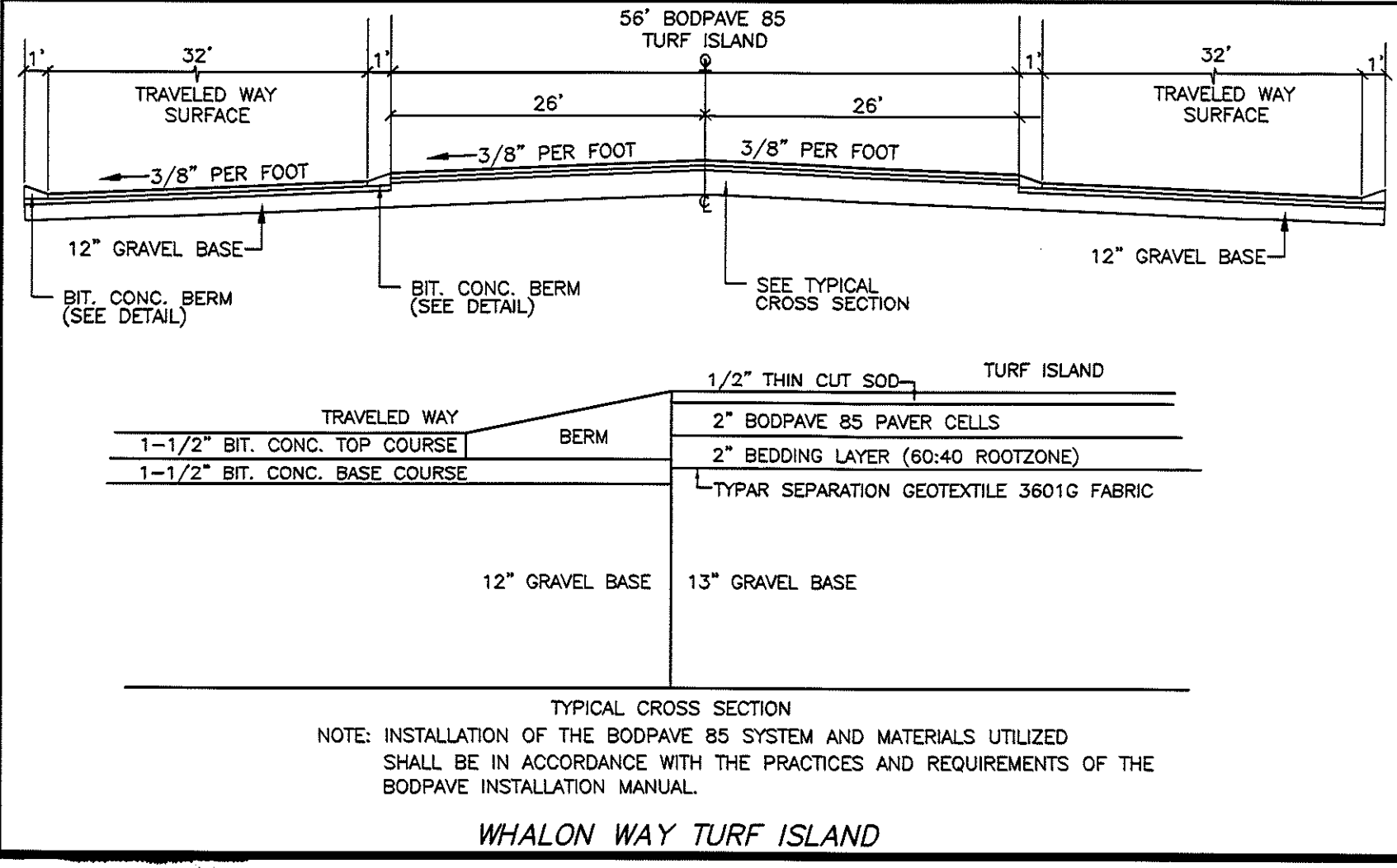
"BENTLEY ESTATES II"
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 MAP 5 LOT 16, 18, 50-68
 IN
 WESTPORT, MA

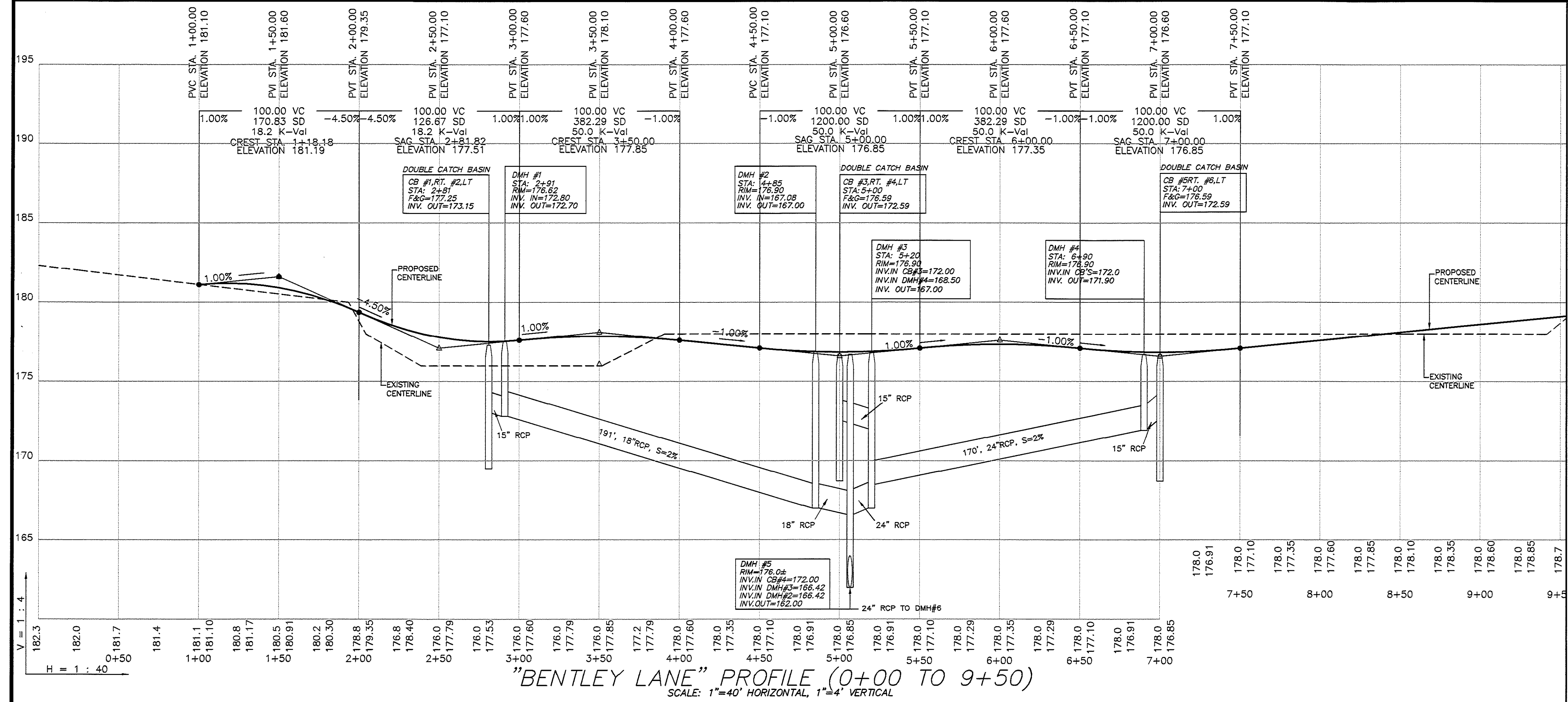
PREPARED FOR
ROBERT KFOURY

SCALE: 1"=40'
 JANUARY 1, 2015
 REVISED: 2-8-16, 4-7-16, 5-26-16
 PREPARED BY

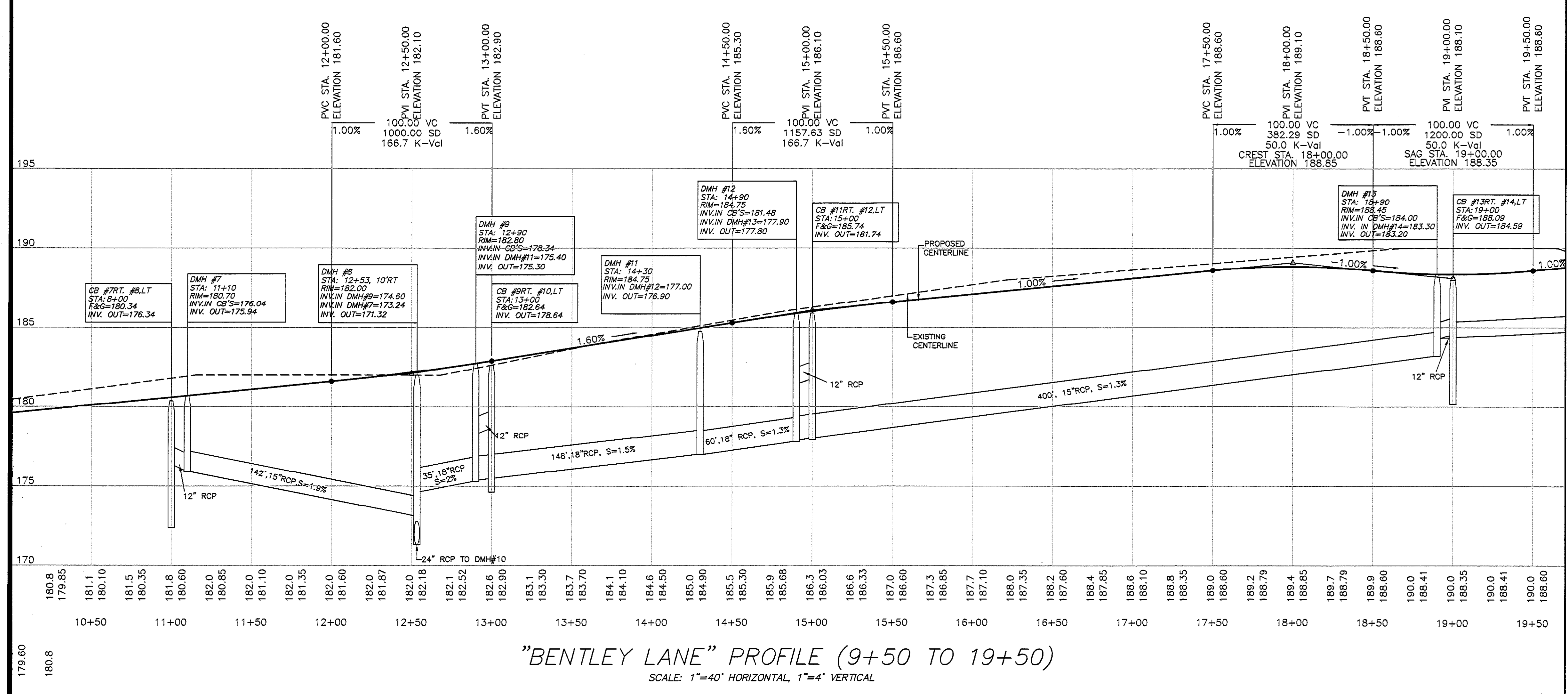
SITEC
 Civil and Environmental Engineering
 Land Use Planning

SITEC, Inc.
 449 Faunce Corner Road
 North Dartmouth, MA 02747
 (508) 998-2125
 FAX (508) 998-7554





"BENTLEY LANE" PROFILE (0+00 TO 9+50)
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



"BENTLEY LANE" PROFILE (9+50 TO 19+50)
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL

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[Signature] 8/15/17

TOWN OF WESTPORT PLANNING BOARD
APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
<i>[Signature]</i> CHAIRMAN	
<i>[Signature]</i>	
<i>[Signature]</i>	
<i>[Signature]</i>	
PREL. DATE FILED: August 4, 2015	
DEF. DATE FILED: SEPTEMBER 22, 2015	
MAY 17, 2016	
DEF. PLAN APPROVED 8/23/16	
DEF. PLAN ENDORSED	

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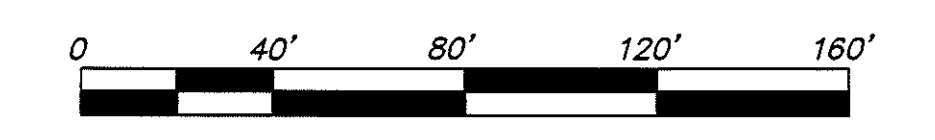
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OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

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OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

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180 TICKLE ROAD
WESTPORT, MA

DEED REFERENCE:
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"BENTLEY ESTATES II"
DEFINITIVE SUBDIVISION
MAP 5 LOT 16, 18, 50-68
IN

WESTPORT, MA

PREPARED FOR
ROBERT KFOURY

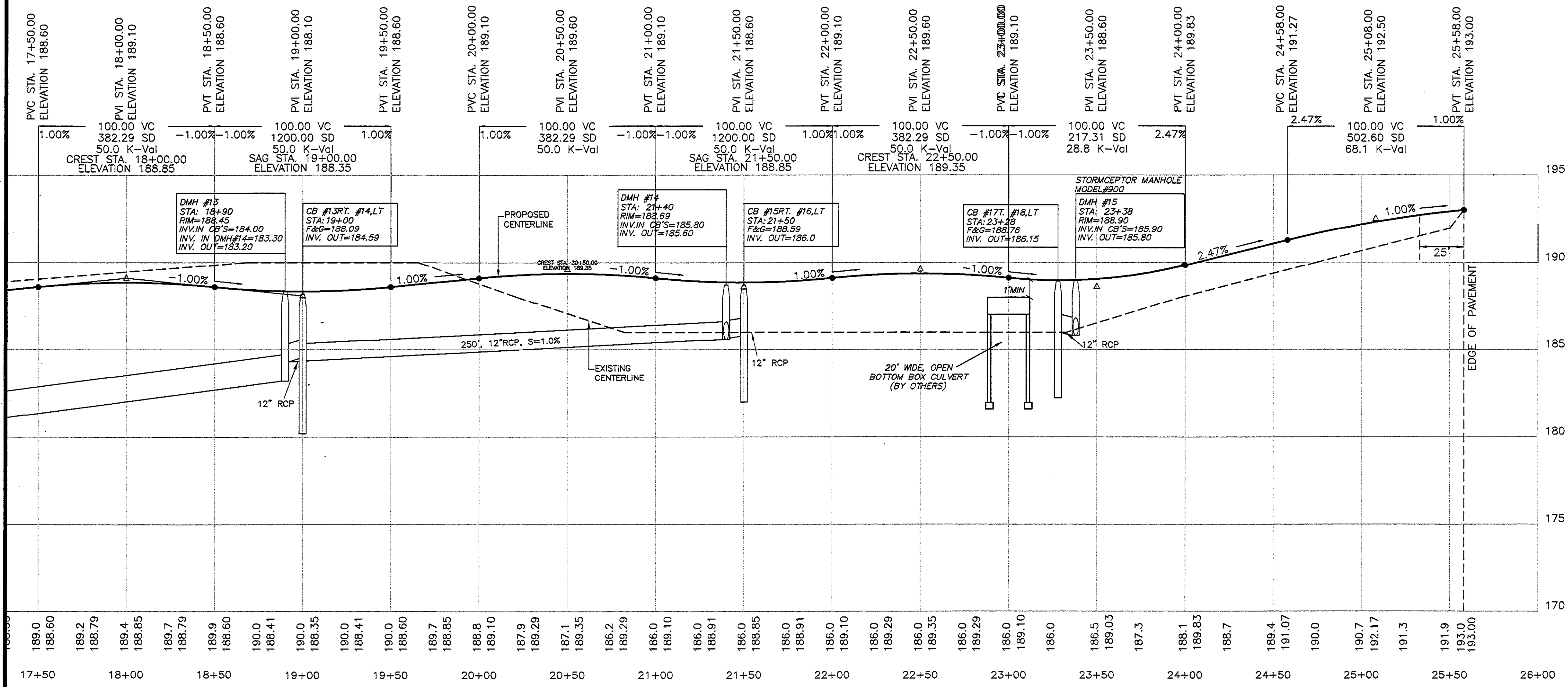
SCALE: 1"=40' JANUARY 1, 2015
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Land Use Planning

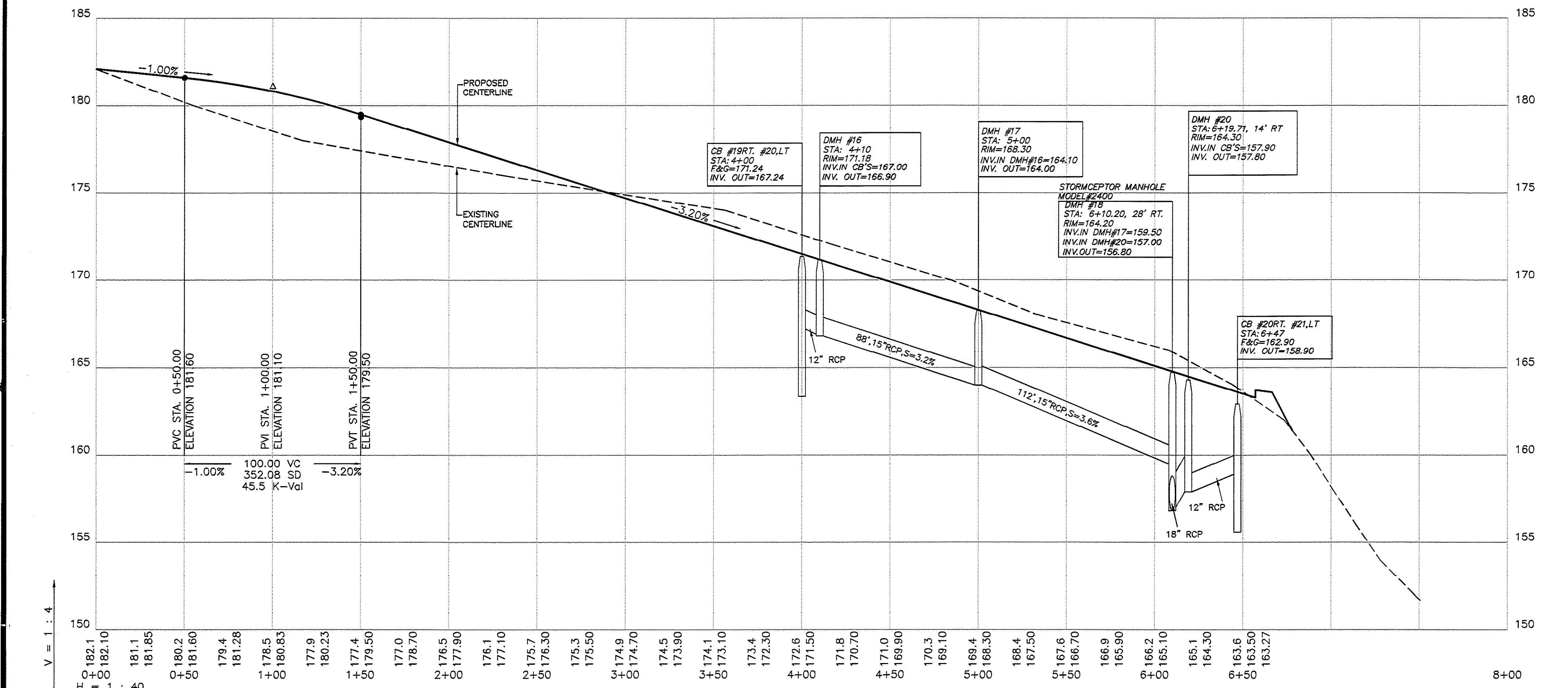
SITEC, Inc.
449 Faunce Corner Road
North Dartmouth, MA 02747
(508) 998-2125
FAX (508) 998-7554





"BENTLEY LANE" PROFILE (17+50 TO 26+00)

SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



"WHALON WAY" PROFILE (0+00 TO 8+00)

SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL

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PLANNING BOARD

THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR RESCINDED, NOR THE PLAN CHANGED.

Jan. K. Huber 8/15/17

TOWN OF WESTPORT PLANNING BOARD

APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
<i>[Signature]</i>	PREL. DATE FILED: AUGUST 2, 2016
<i>[Signature]</i>	DEF. DATE FILED: SEPTEMBER 2, 2016
<i>[Signature]</i>	PUBLIC HEARING MAY 12, 2016
<i>[Signature]</i>	DEF. PLAN APPROVED 8/23/16
<i>[Signature]</i>	DEF. PLAN ENDORSED

SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 7/25/16 RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON JUNE 1, 2016 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

Maureen M. Jamin 8/19/2016
TOWN CLERK, WESTPORT, MA

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature]

SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

WAIVERS:

- SEC III (B)4 TO WAIVE THE REQUIRED COST ESTIMATE.
- SEC IV(A) 1. TO WAIVE THE REQUIREMENT FOR 25' CORNERS AT STREET LINE INTERSECTIONS.
- SEC V(C) TO WAIVE THE 20% STORMWATER REDUCTION REQUIREMENT FOR PEAK FLOW RATES AT THE SUBDIVISION BOUNDARY. NO INCREASE IN STORMWATER PEAK FLOW IS ALLOWED AT THE SUBDIVISION BOUNDARY.
- SEC IV(A.2) TO WAIVE THE REQUIREMENTS OF TABLE "A" REQUIRING 26' OF PAVEMENT WIDTH (22' PROPOSED IN WHALON WAY)

PARCEL SUMMARY

MAP 5 LOT 18
MAP 5 LOT 16
MAP 5 LOT 50-68

OWNER:

MAP 5 LOT 16
OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

MAP 5 LOT 18
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KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

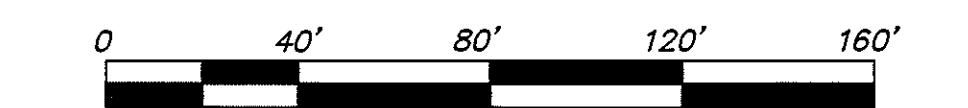
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OWNER: WARREN M MESSIER
180 TICKLE ROAD
WESTPORT, MA

DEED REFERENCE:

DEED RECORDED IN BRISTOL COUNTY SOUTH REGISTRY OF DEEDS
IN DEED BOOK 5179 PAGE 235.
IN DEED BOOK 11756 PAGE 21.
IN DEED BOOK 1947 PAGE 632.

ZONE - RESIDENCE / AGRICULTURE

MIN. AREA - 60,000 SQ.FT.
MIN. UPLAND AREA - 30,000 SQ.FT.
MIN. FRONTAGE - 150'
SETBACKS: FRONT - 25'
SIDE - 10'
REAR - 6'



"BENTLEY ESTATES II"
DEFINITIVE SUBDIVISION
MAP 5 LOT 16, 18, 50-68
IN
WESTPORT, MA

PREPARED FOR

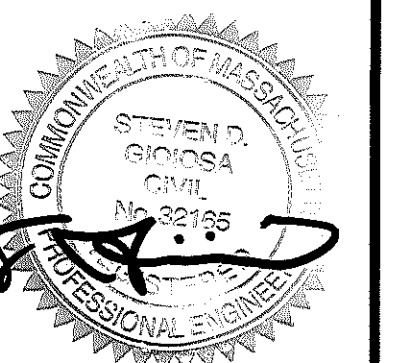
ROBERT KFOURY

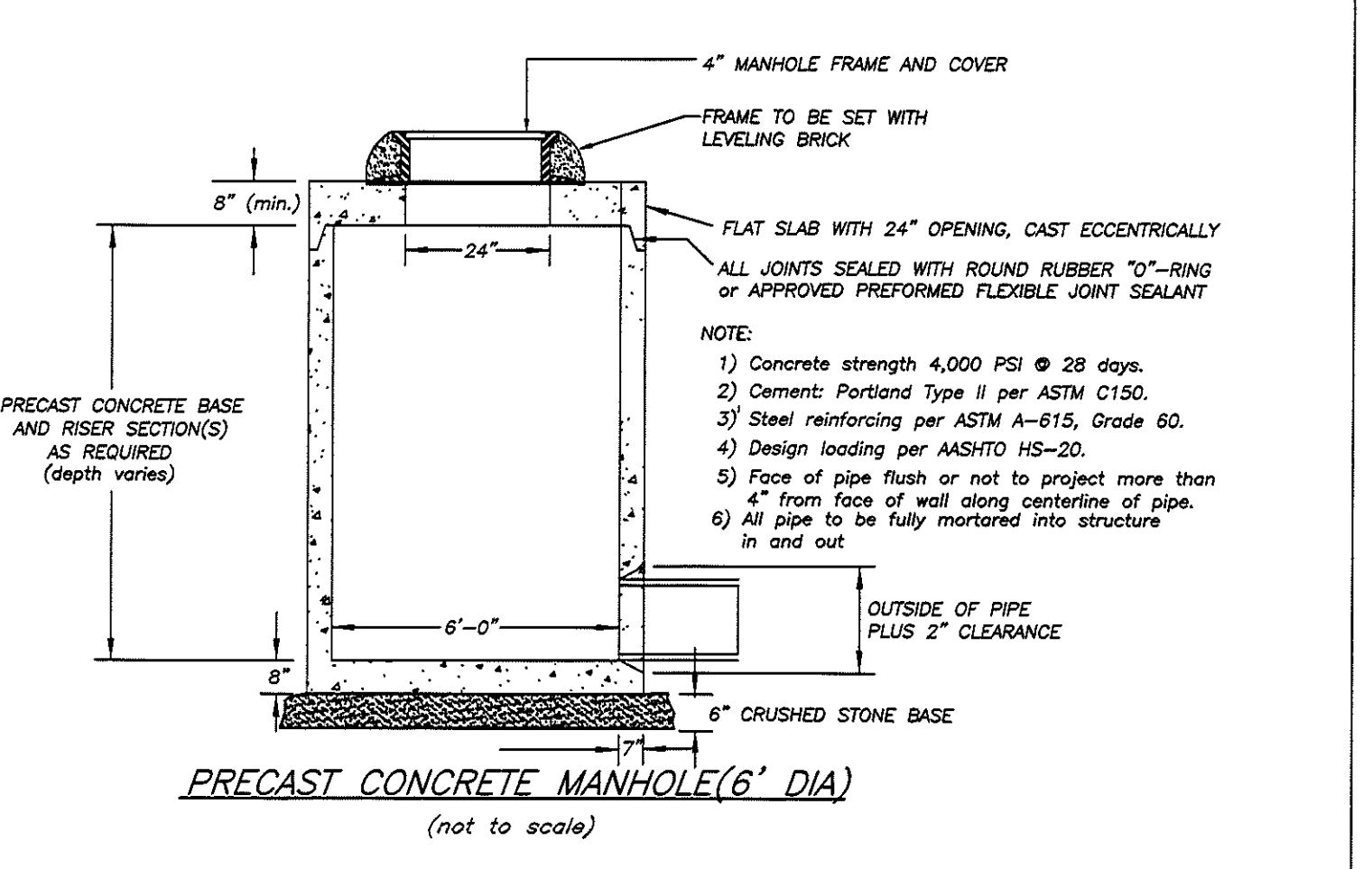
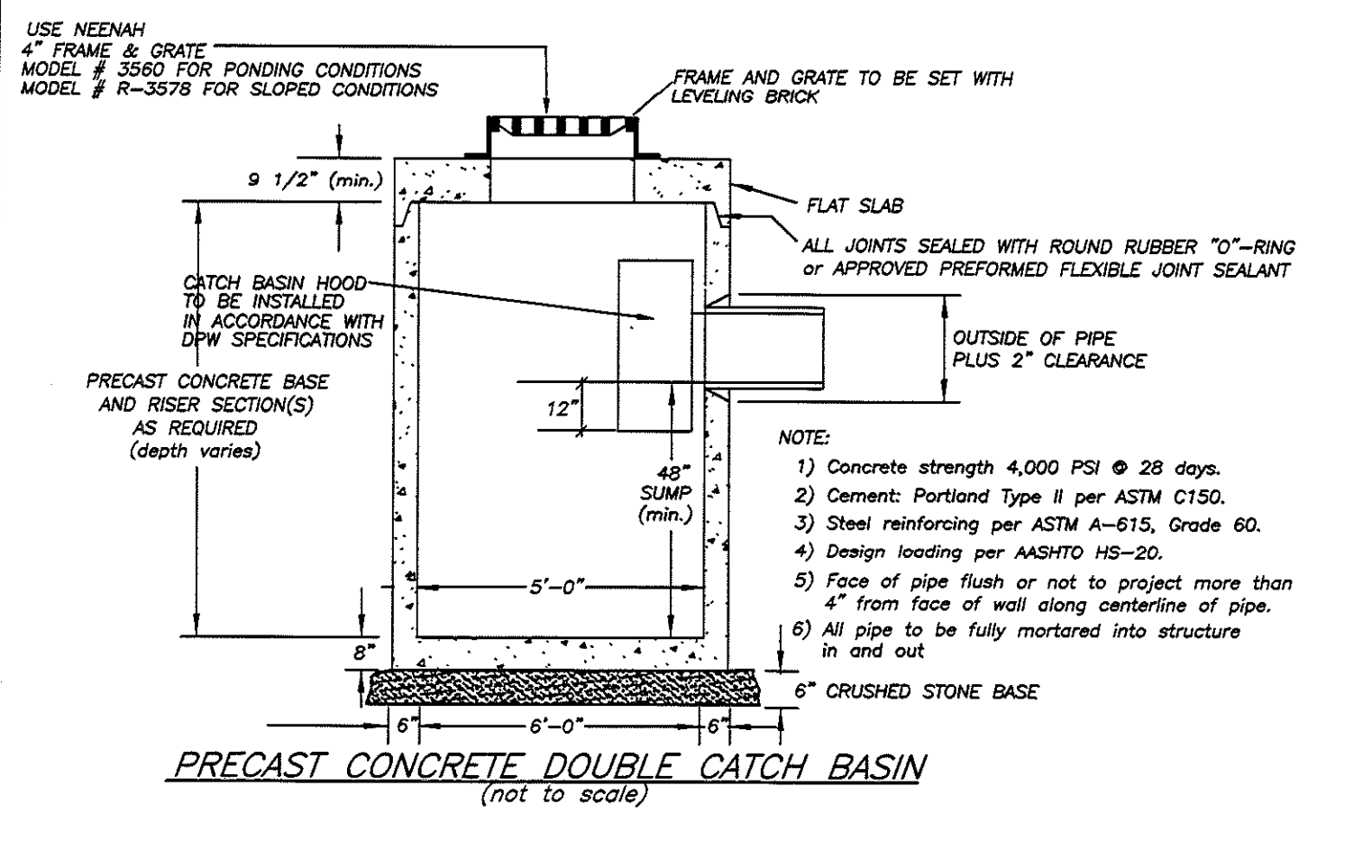
SCALE: 1"=40' JANUARY 1, 2015

REVISED: 2-8-16, 4-7-16, 5-26-16

PREPARED BY

SITEC SITEC, Inc.
Civil and Environmental Engineering
Land Use Planning
449 Fajunce Corner Road
North Dartmouth, MA 02747
(508) 998-2125
FAX (508) 998-7554





WETLANDS REPLICATION NARRATIVE

2.1 Objectives and Work Schedule
The overall objective is to restore 400 sq-ft of 20W area with wetland regulated area of 5000 sq-ft. The replication area will be established within the first growing season (April-October) after the issuance of a Letter of Condition. The work will be completed within 90 days of the start of the project. The replication area is to be established within the first growing season.

2.2 Erosion Control
Prior to the beginning of the replication work, a topsoil and silt erosion control barrier will be installed along the edge of the 20W area to the replication area. The erosion control barrier will be constructed in accordance with the standard practice.

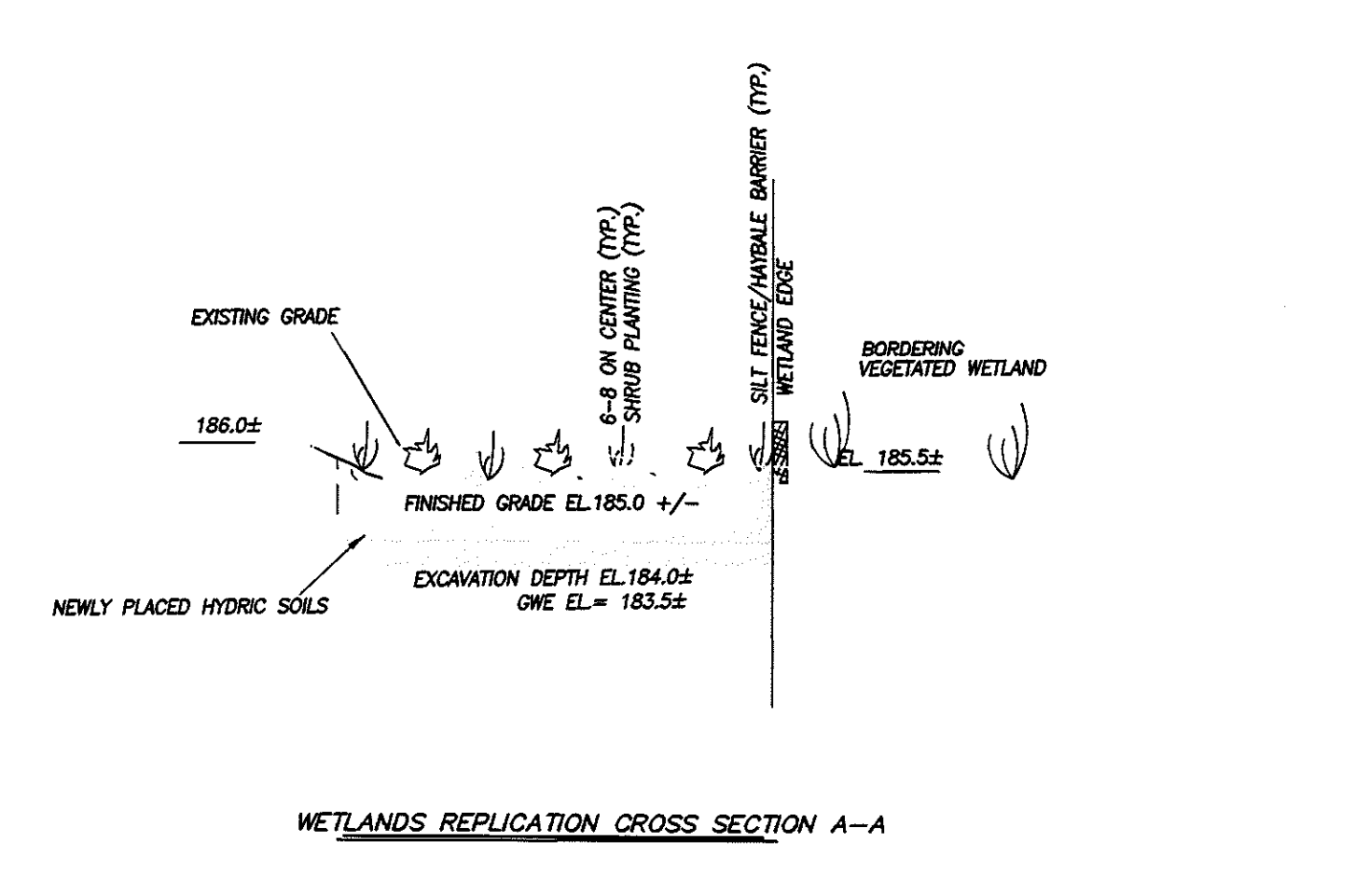
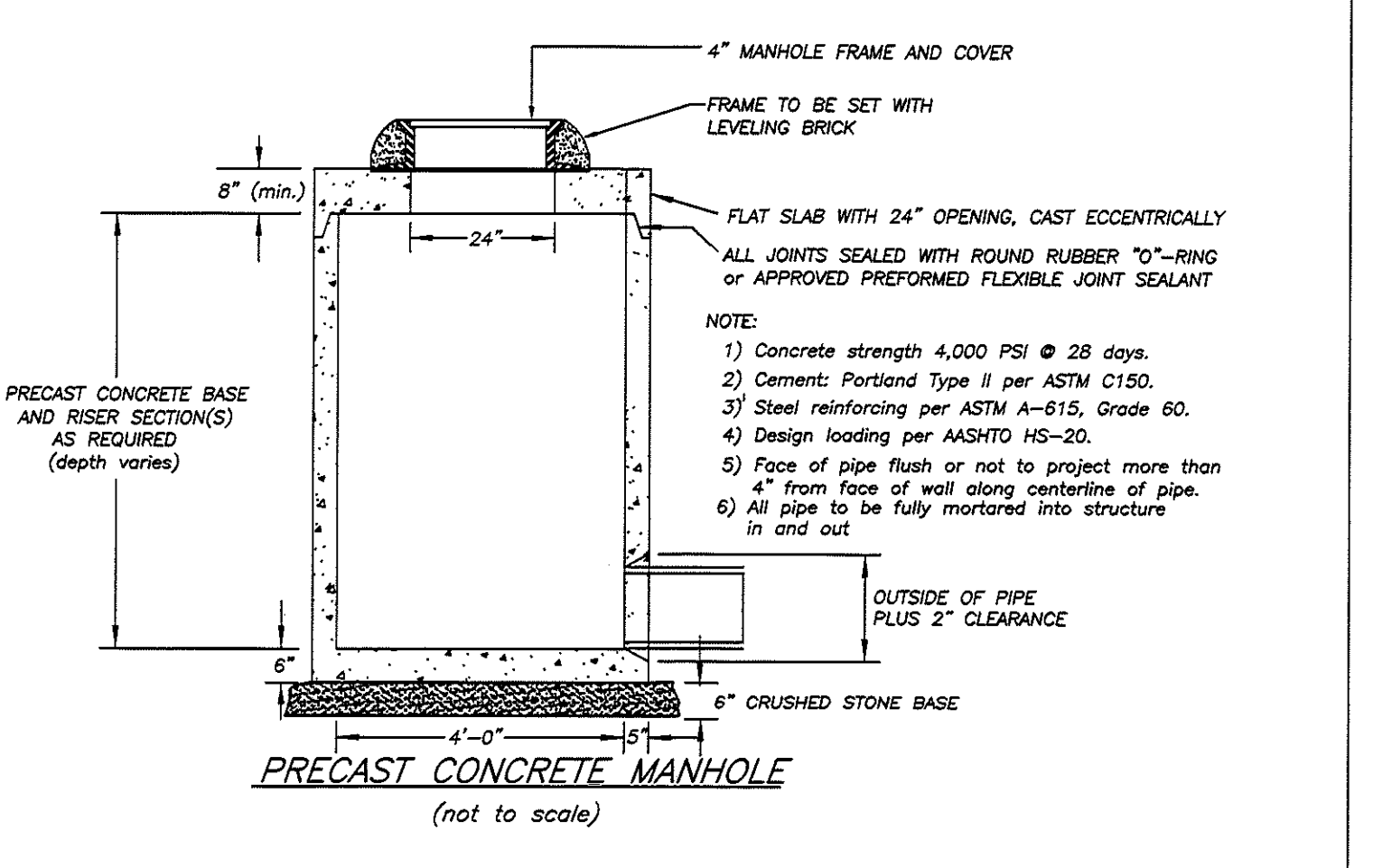
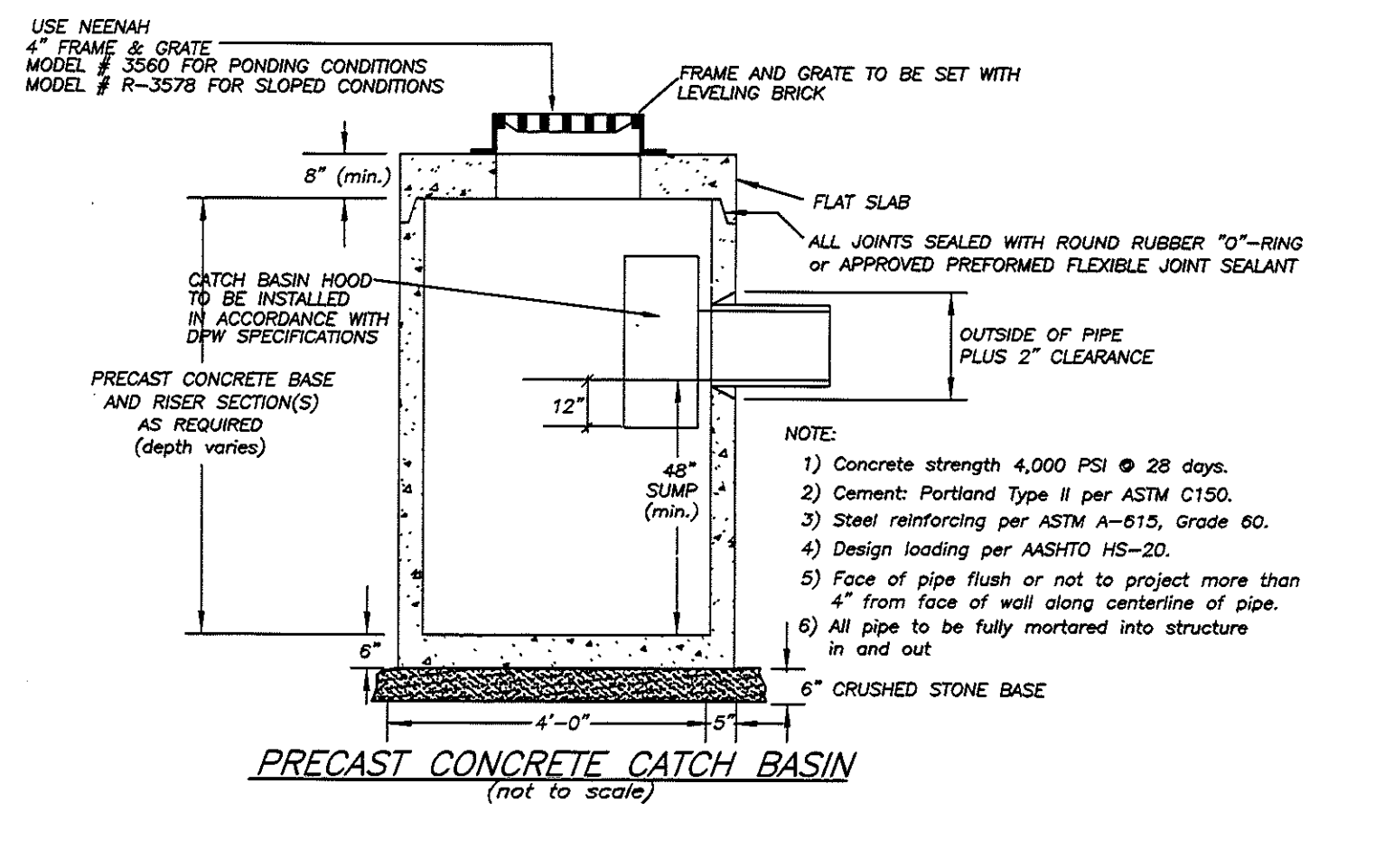
2.3 Excavation and Grading of Replication Area
The organic topsoil within the replication area will be removed and stockpiled within the contiguous riparian area. The riparian area will be excavated one (1) foot below the surface elevation of the immediately adjacent wetland. The riparian area will be excavated to a depth of 1.5 feet below the surface elevation of the immediately adjacent wetland. The riparian area will be excavated to a depth of 1.5 feet below the surface elevation of the immediately adjacent wetland. The riparian area will be excavated to a depth of 1.5 feet below the surface elevation of the immediately adjacent wetland.

2.4 Planting Specifications
The replication area shall be seeded with New England Wetland Plants Inc. "NET 100" seed at a rate of 1 lb per 2,500 sq-ft.

2.5 Monitoring & Reporting
The contractor shall monitor the replication area and submit reports after the first and second growing seasons. The reports shall include the number of plants established, the survival rate, and the overall condition of the replication area. The reports shall be submitted to the Conservation Commission at the end of each season which follows the format suggested in the DEP Wetland Replication Guidelines.

2.6 Quality Control
All work shall be carried out by a qualified nursery, under the direct supervision of a STEC, Inc. wetland scientist.

Plant stock obtainable multiple sources, including:
-Hortal Nurseries Services, Inc. -Pinedale Nursery and Supply -New England Wetland Plants, Inc.
Cody Farm, P.O. Box 311 -323 Main Road -300 Main Street
Haverhill, MA 02309 -Gardner, MA 01922 -Amherst, MA 01002



- NOTES:**
- 6"X 6" CONCRETE BOUNDS SHALL BE SET ON EXTERIOR STREET LINES AT ALL ANGLE POINTS, INTERSECTIONS AND AT ALL CURVES.
 - ALL LOTS WILL BE SERVICED BY INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND PRIVATE DRINKING WATER WELLS.
 - ALL LOTS REQUIRE THAT ROOF RUNOFF SHALL BE COLLECTED VIA DOWNSPOUTS AND RECHARGED INTO THE GROUND WITH ROOF DRAIN DRYWELLS.
 - ALL WETLAND RESOURCE AREAS SHOWN HAVE BEEN APPROVED THROUGH AN ORDER OF RESOURCE AREA DELINEATION ISSUED BY THE WESTPORT CONSERVATION COMMISSION ON 11-13-14. DEP FILE NUMBER 80-2146
- GENERAL NOTES**
- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF WESTPORT DEPARTMENT OF PUBLIC WORKS AND PLANNING BOARD CONSTRUCTION STANDARDS.
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PLANNING BOARD

THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR REVISIONED, NOR THE PLAN CHANGED.

Jan N. Hahn 8/20/16

TOWN OF WESTPORT PLANNING BOARD
APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS

<i>[Signature]</i> CHAIRMAN	<i>[Signature]</i> VICE CHAIRMAN
<i>[Signature]</i> MEMBER	<i>[Signature]</i> MEMBER

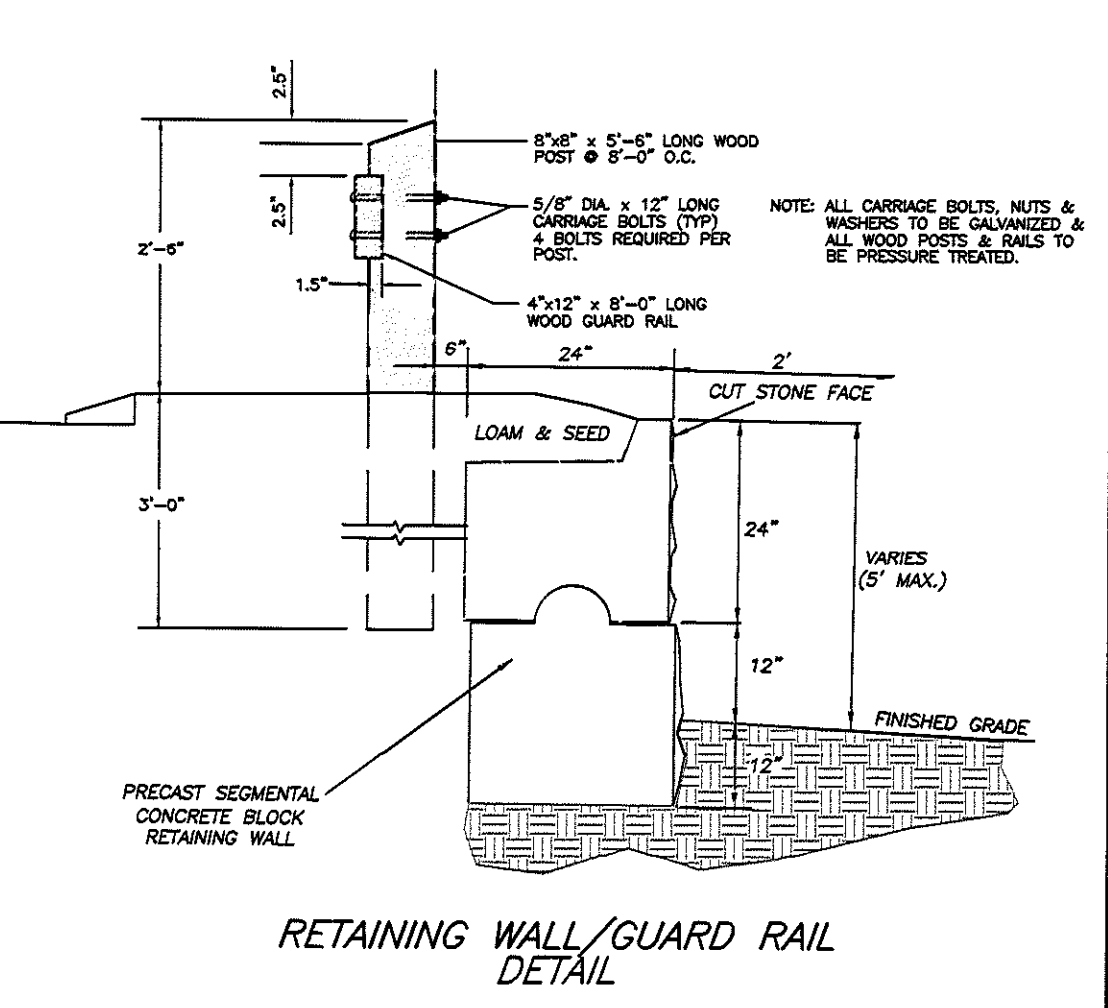
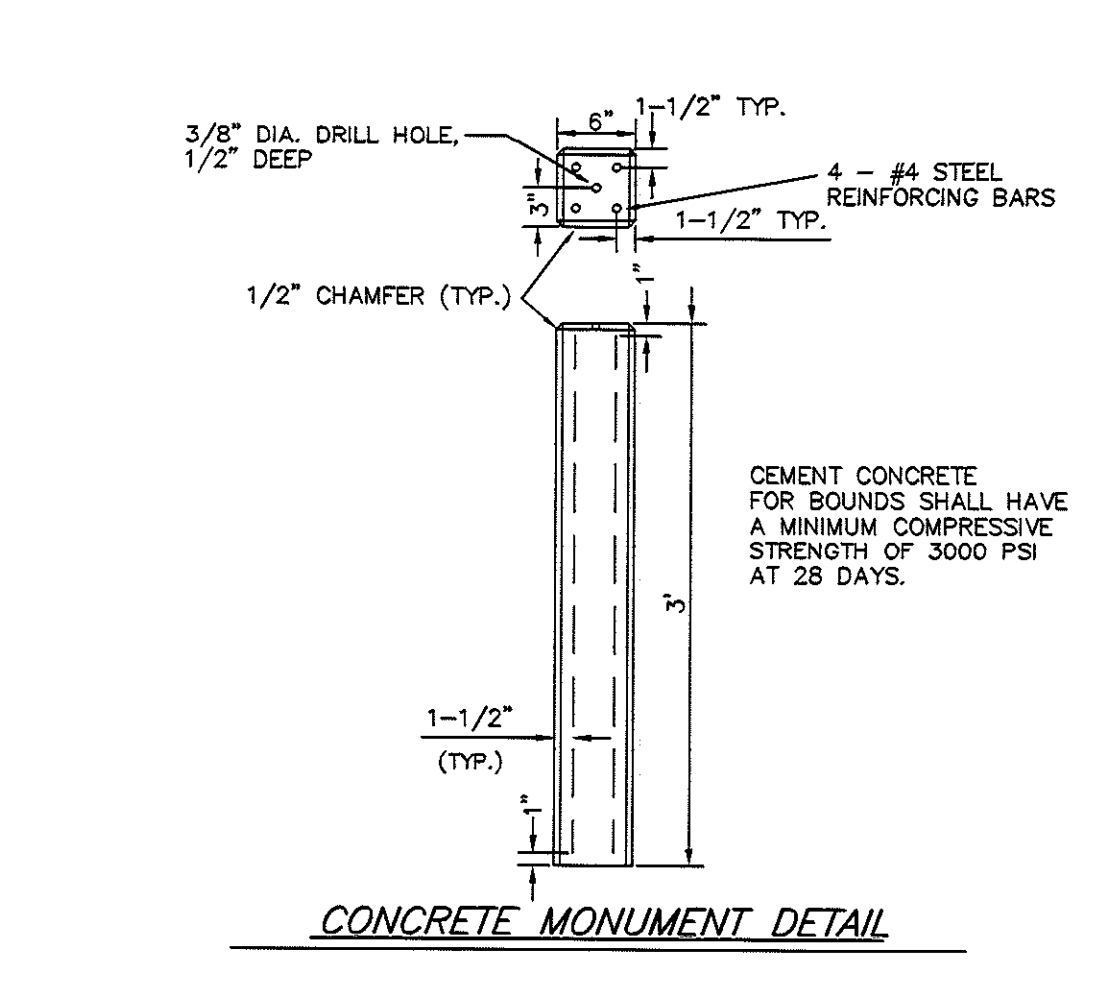
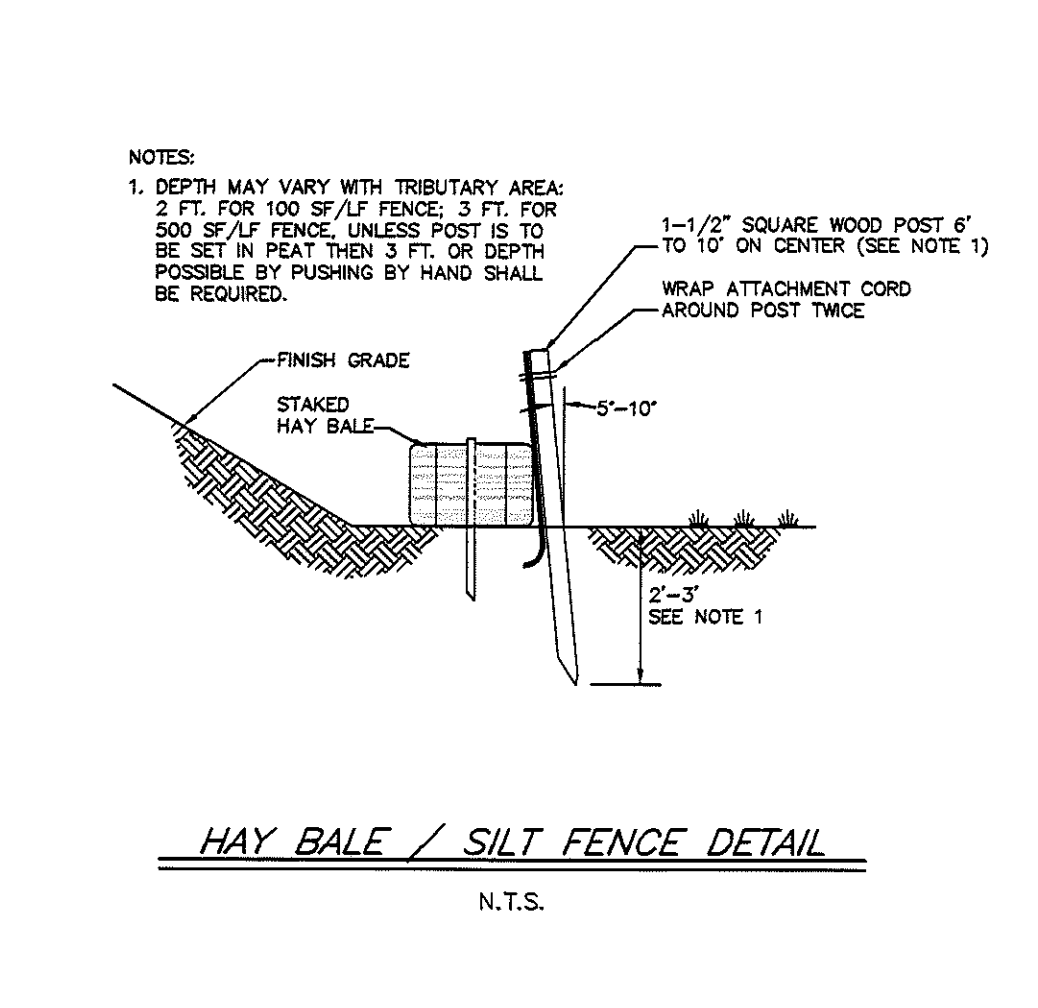
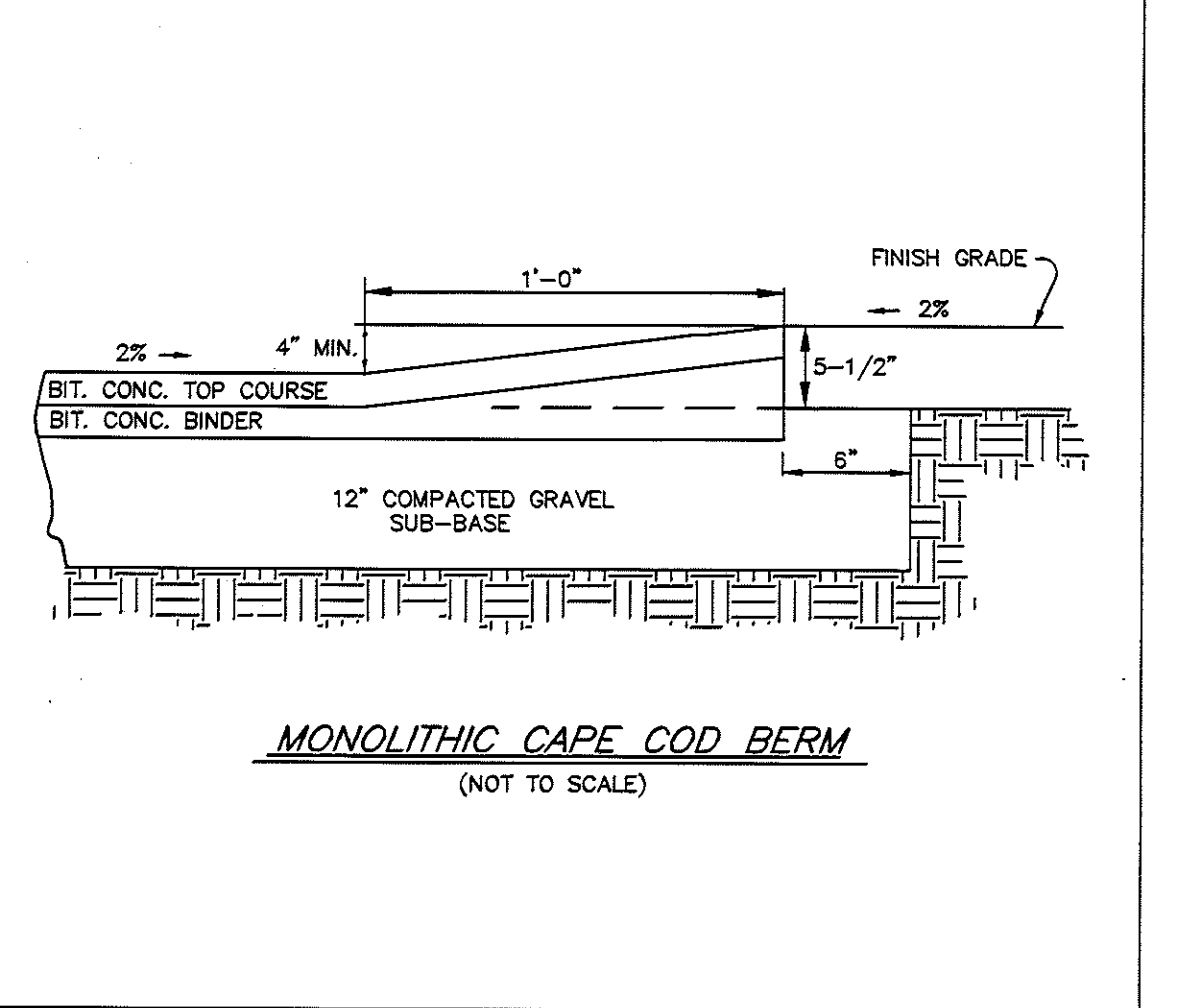
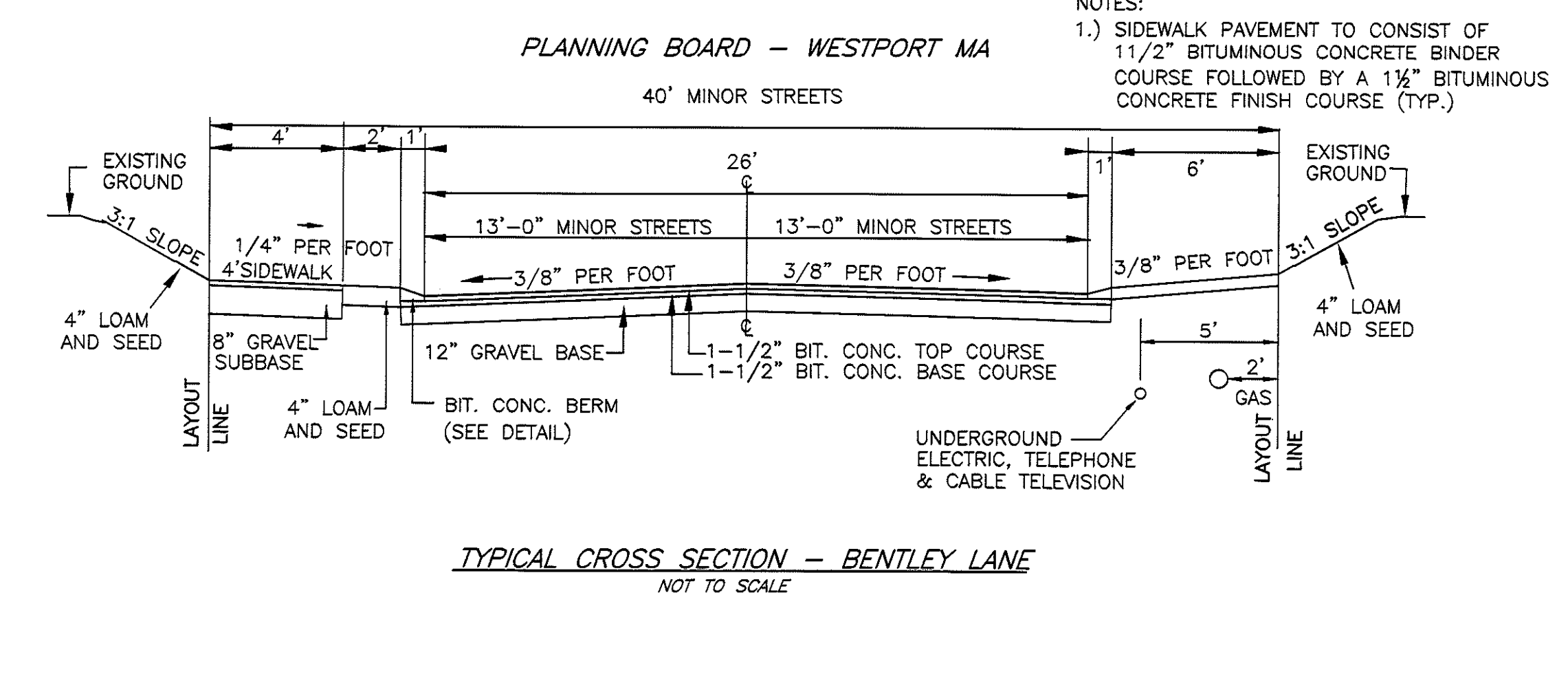
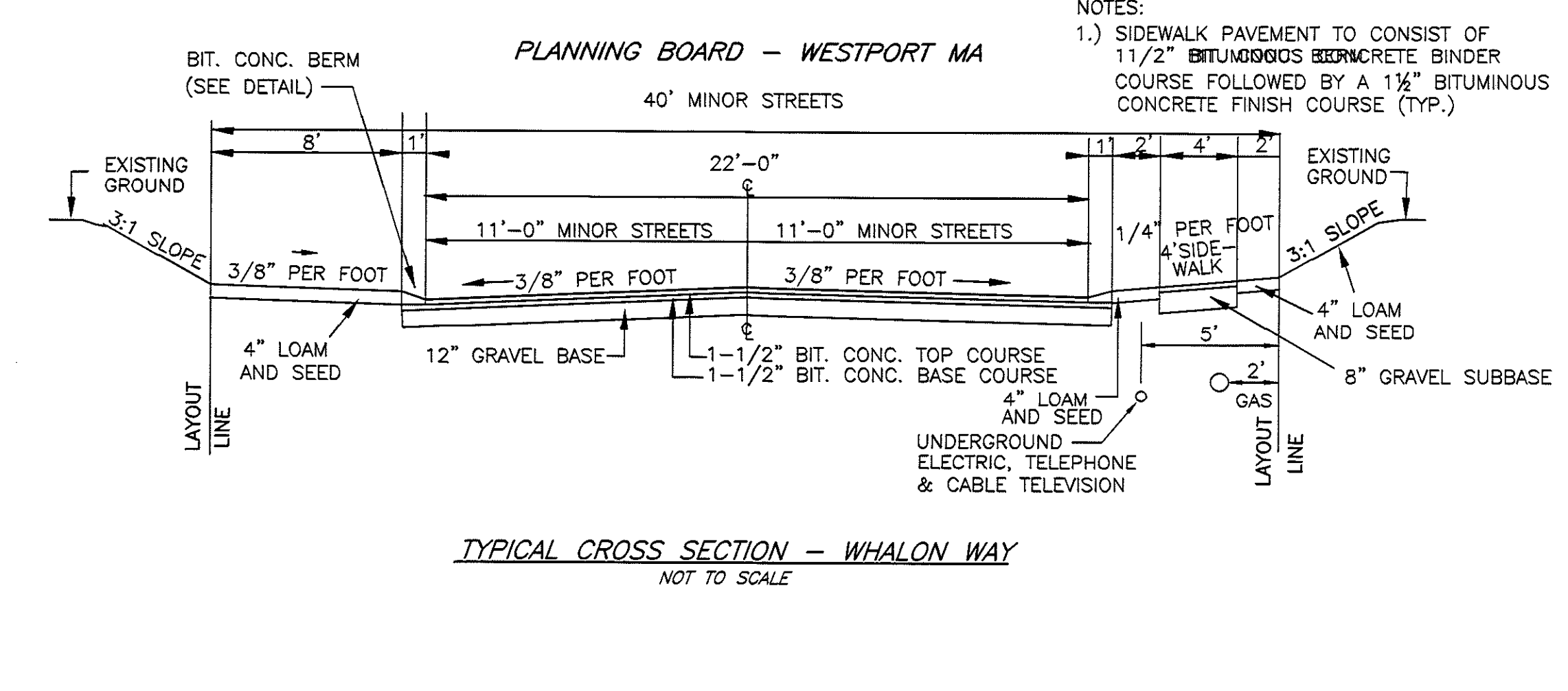
REL. DATE FILED: 8/16/16
DEF. DATE FILED: 8/23/16
PUBLIC HEARING: 8/19/2016
DEF. PLAN APPROVED: 8/23/16
DEF. PLAN ENDORSED

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON June 3, 2016 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

Walter Prigmore 8/19/2016
TOWN CLERK, WESTPORT, MA

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[Signature]



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MAP 5 LOT 50-68

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KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

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180 TICKLE ROAD
WESTPORT, MA

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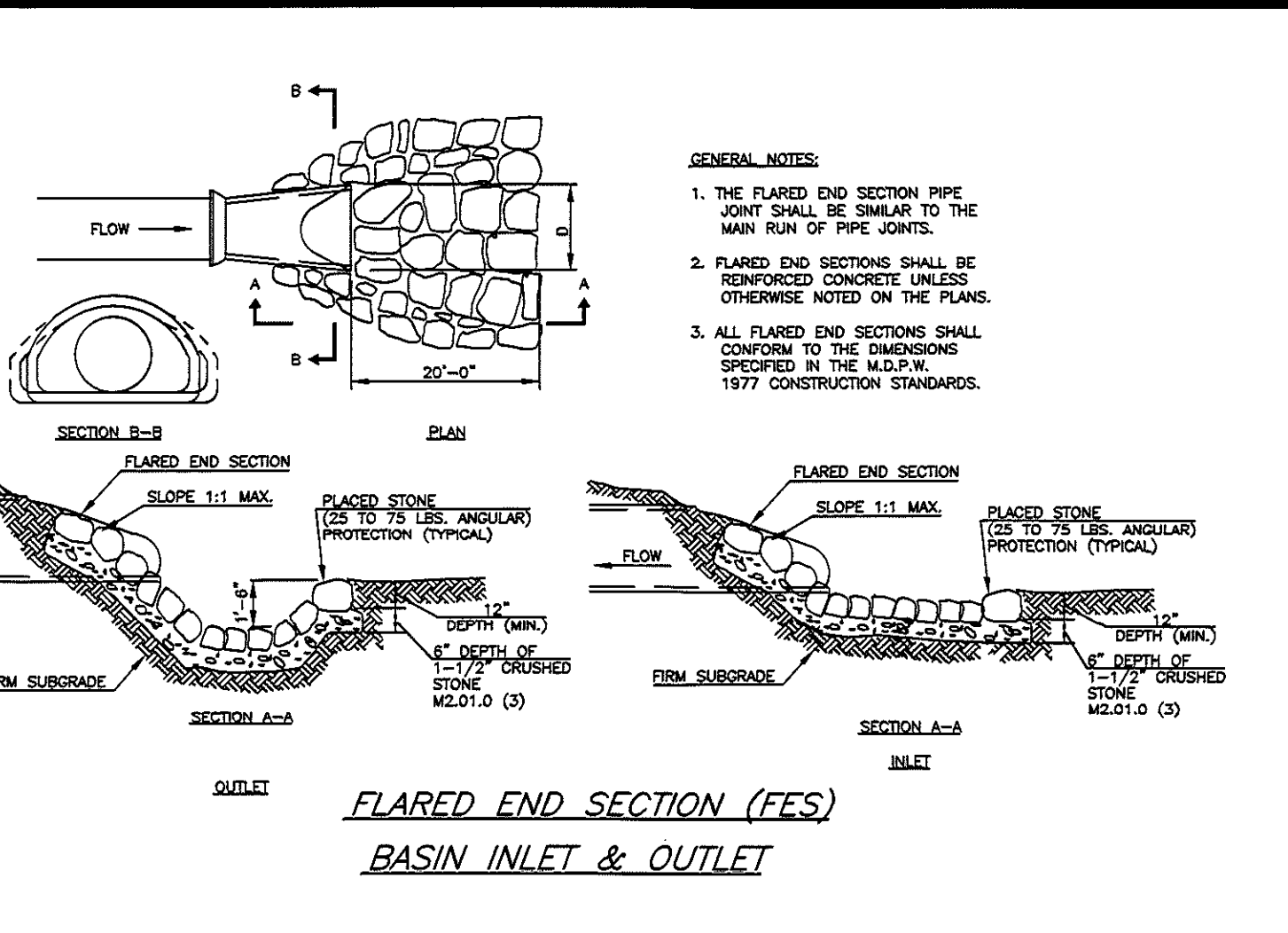
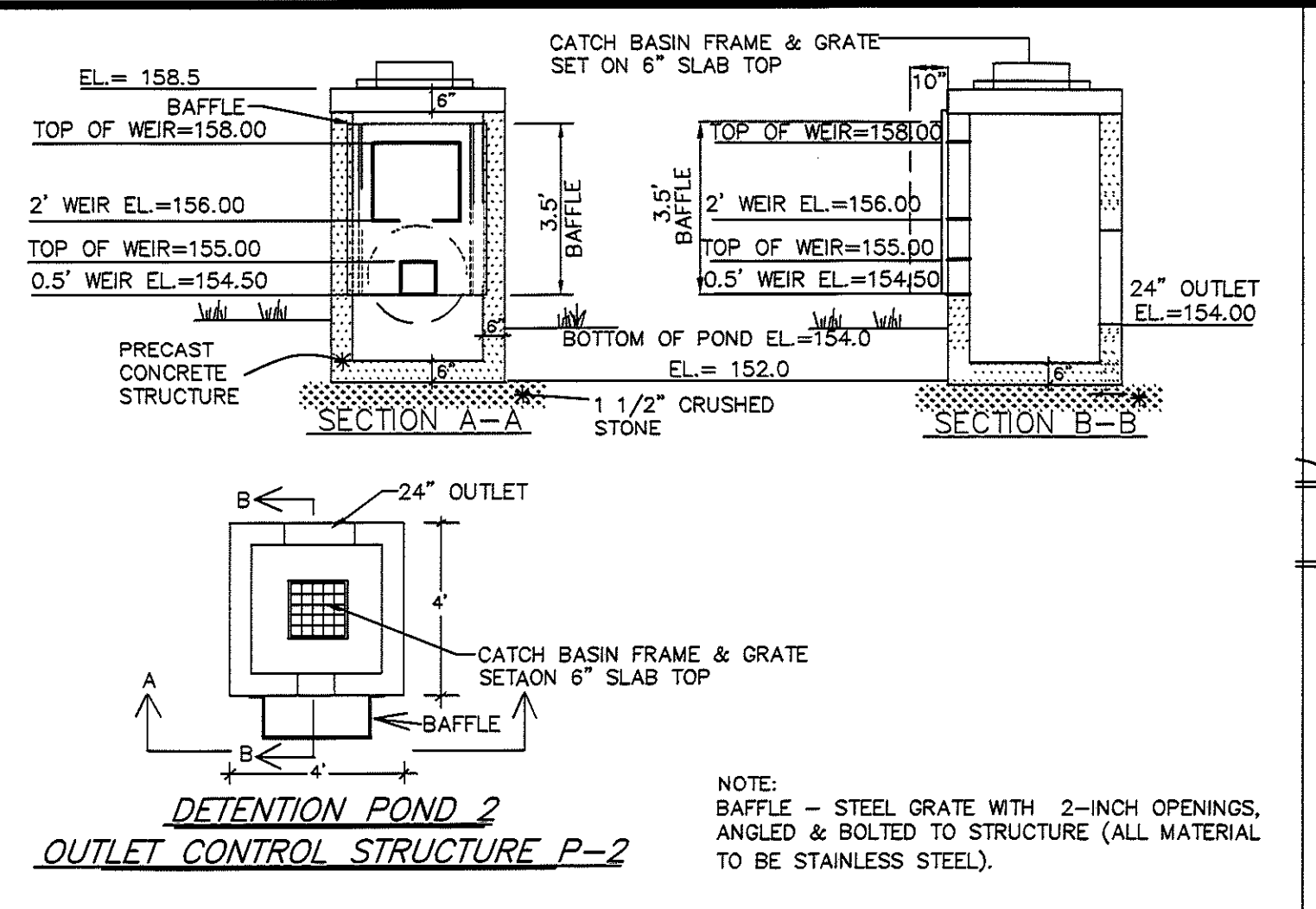
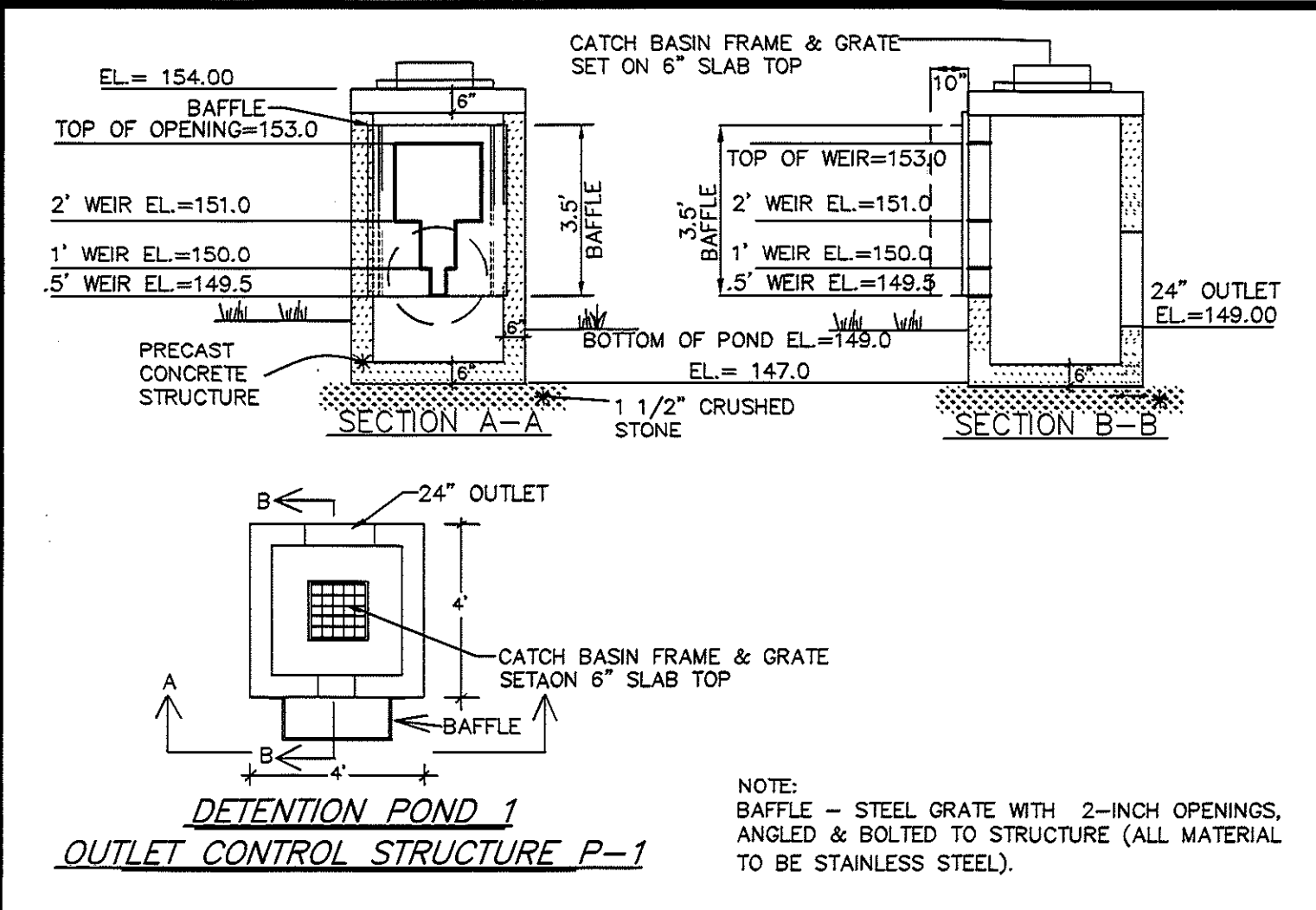
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MIN. UPLAND AREA - 30,000 SQ.FT.
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"BENTLEY ESTATES II"
DEFINITIVE SUBDIVISION
MAP 5 LOT 16, 18, 50-68
IN
WESTPORT, MA

PREPARED FOR
ROBERT KFOURY
SCALE: 1"=40' JANUARY 1, 2015
REVISED: 2-8-16, 4-7-16, 5-26-16

PREPARED BY
SITEC, Inc.
449 Fauce Corner Road
North Dartmouth, MA 02747
(508) 998-2125
FAX (508) 998-7554

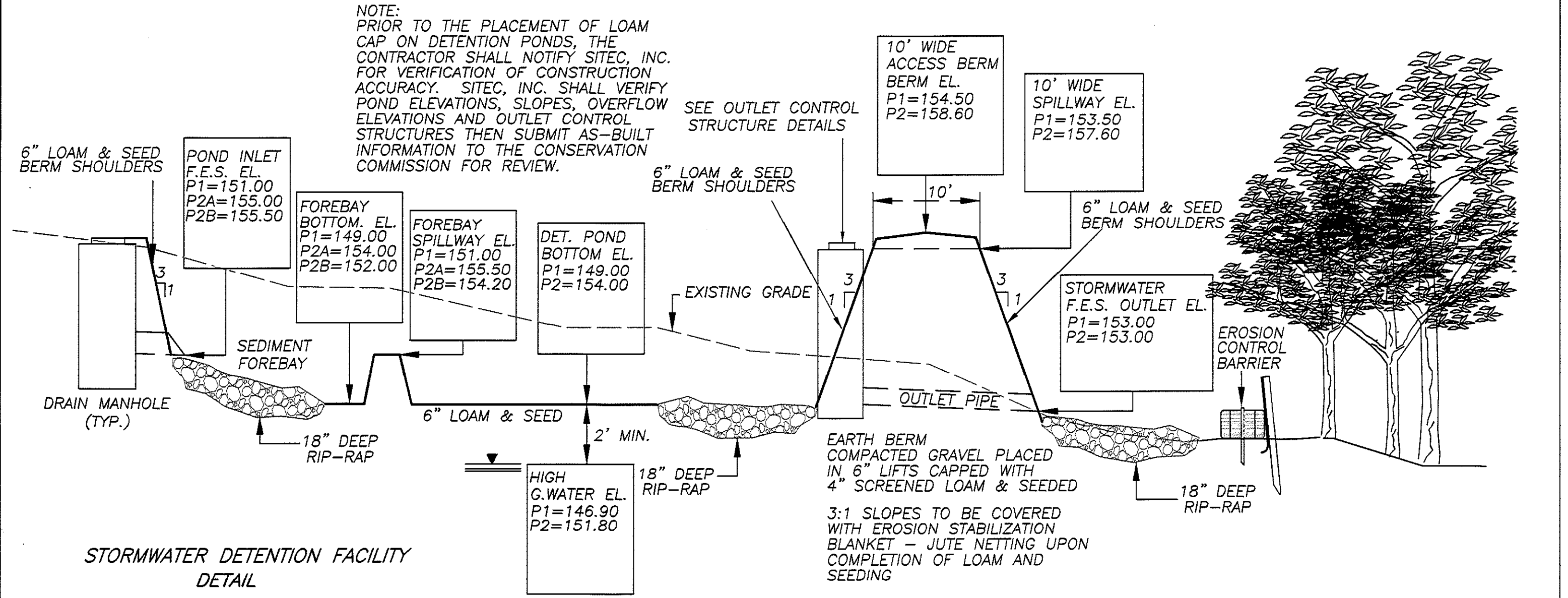
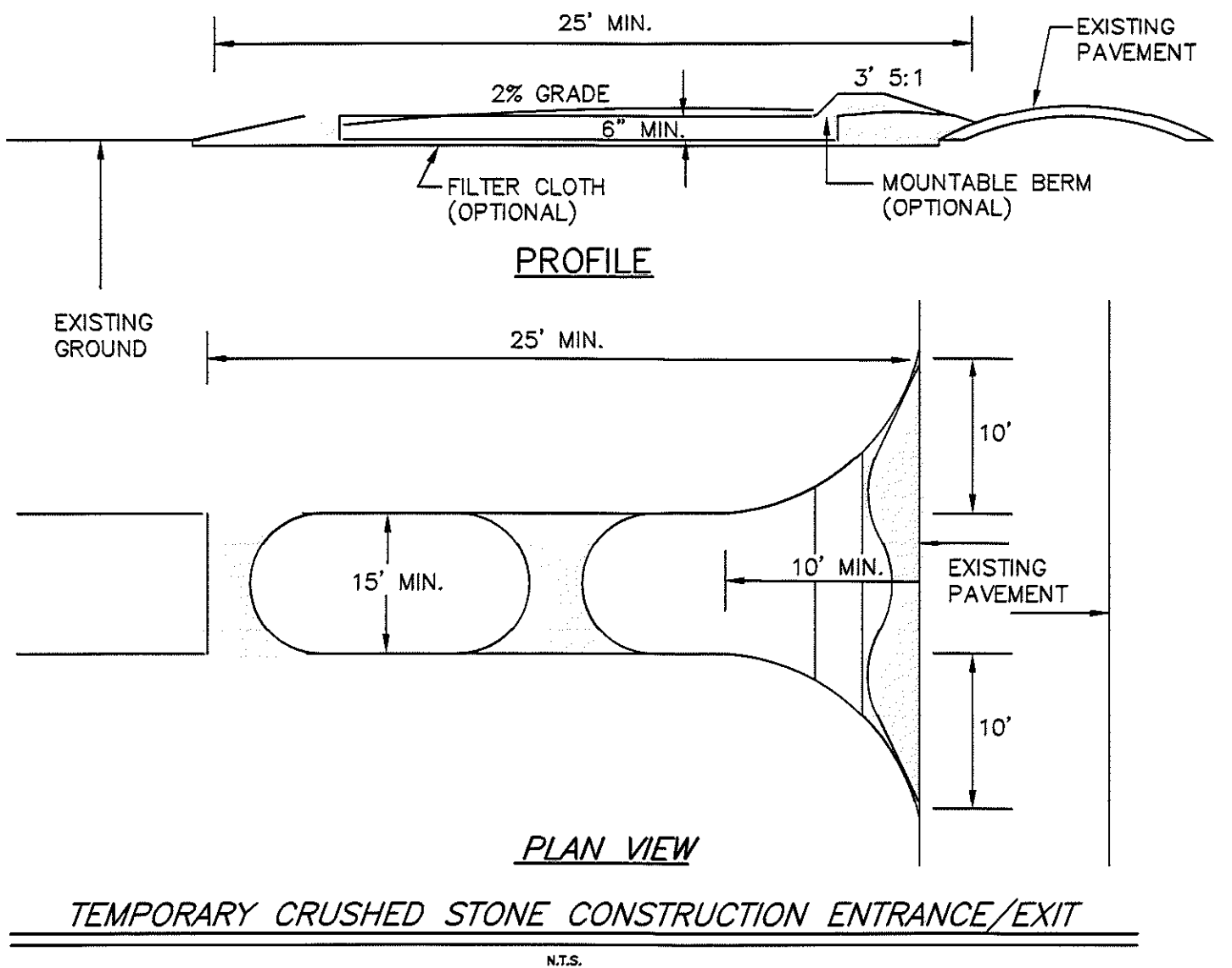
SITEC, Inc.
Civil and Environmental Engineering
Land Use Planning



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PLANNING BOARD
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 APPROVED UNDER "SUBDIVISION CONTROL LAW"



BOARD MEMBERS

CHAIRMAN [Signature]	PREL. DATE FILED: AUGUST 4, 2015
VICE CHAIRMAN [Signature]	DEF. DATE FILED: SEPTEMBER 22, 2015
[Signature]	PUBLIC HEARING MAY 17, 2016
[Signature]	DEF. PLAN APPROVED 8/23/16
DATE: 8/23/16	DEF. PLAN ENDORSED

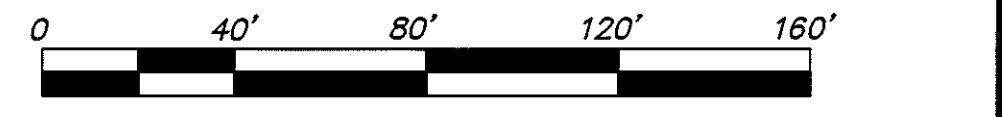
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 [Signature] 8/15/17
 TOWN CLERK, WESTPORT, MA

SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

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DEED REFERENCE:
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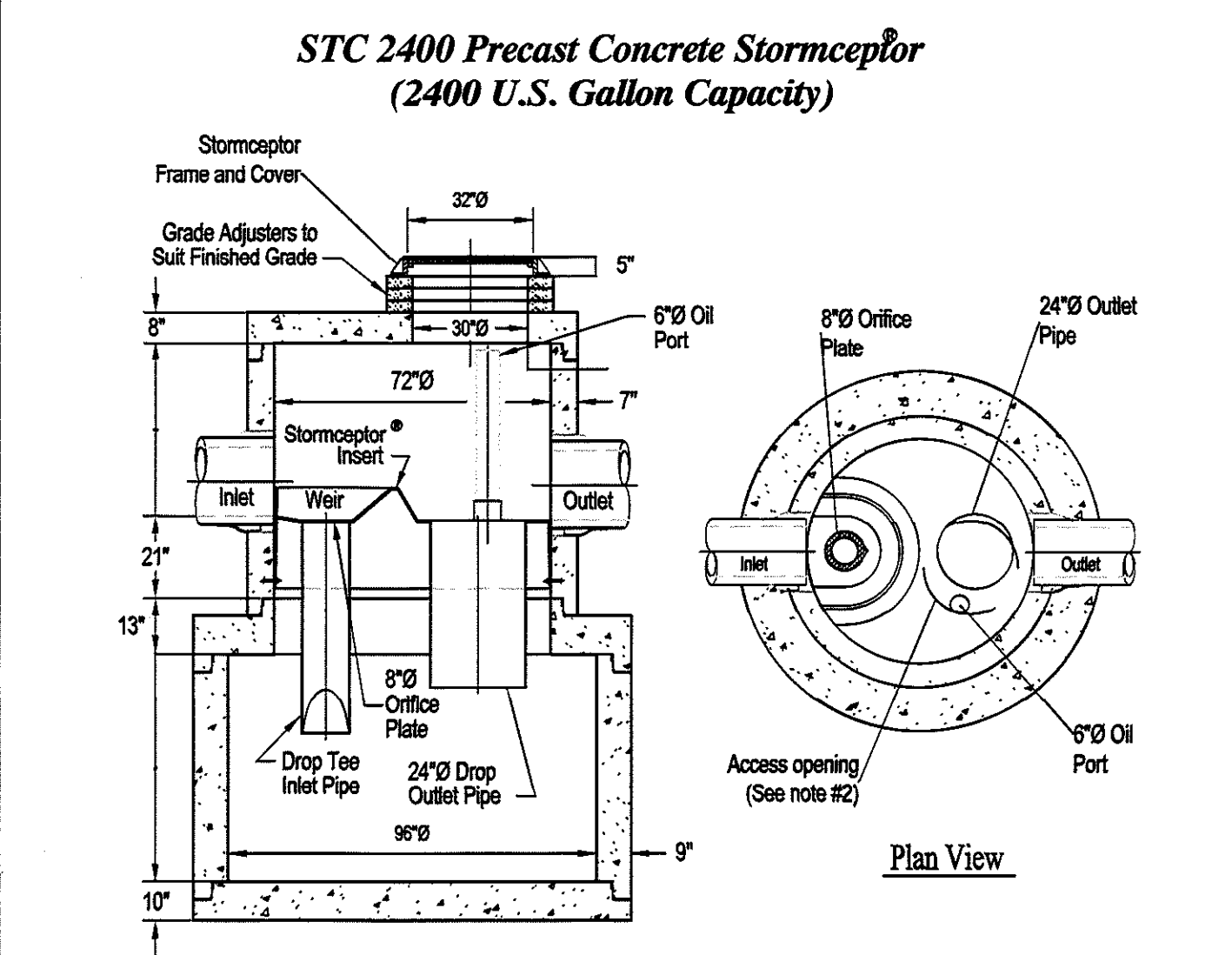


"BENTLEY ESTATES II"
 DEFINITIVE SUBDIVISION
 MAP 5 LOT 16, 18, 50-68
 IN
 WESTPORT, MA

PREPARED FOR
ROBERT KFOURY
 SCALE: 1"=40' JANUARY 1, 2015
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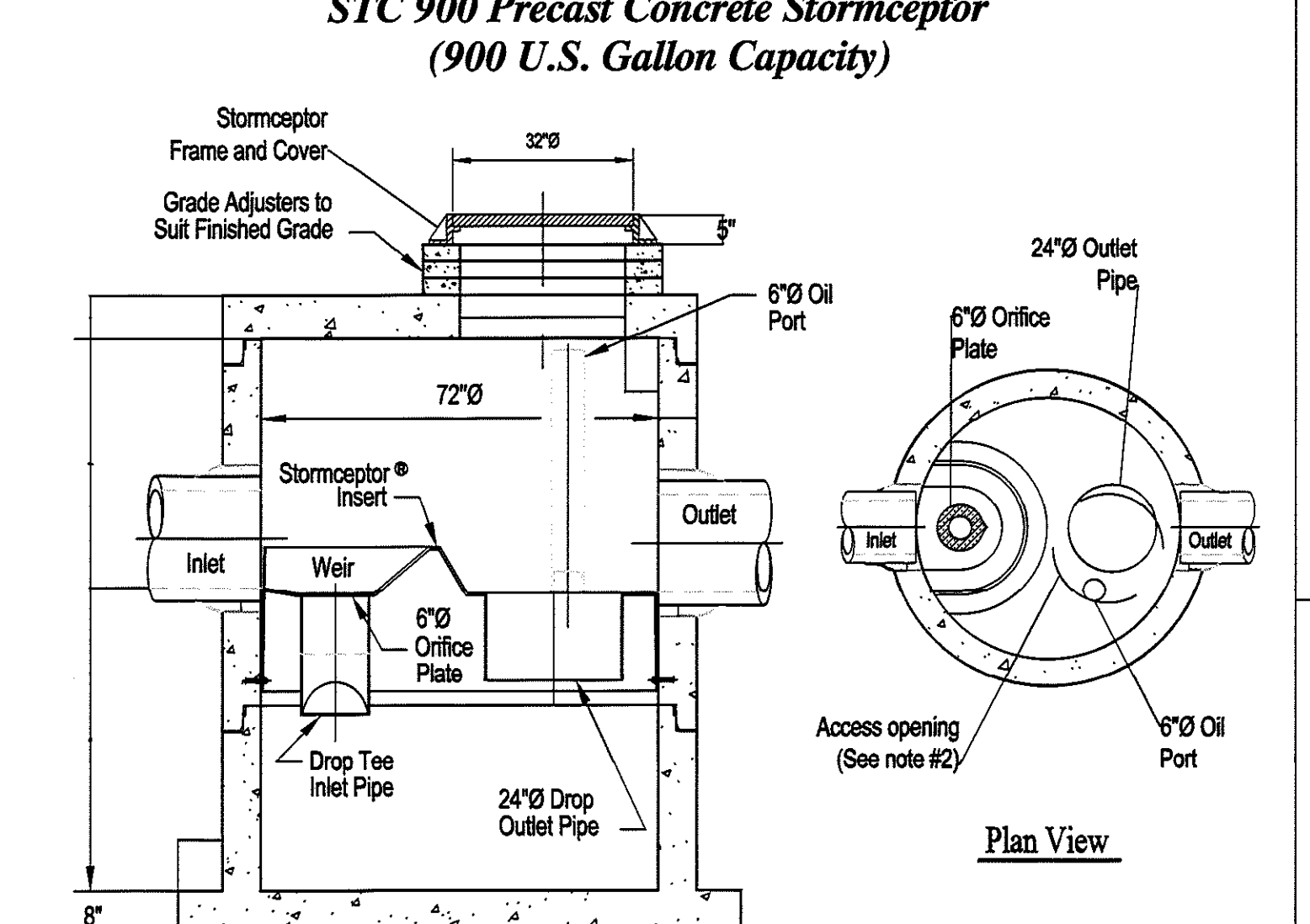
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Rinker
 MATERIALS
 Concrete Pipe Division



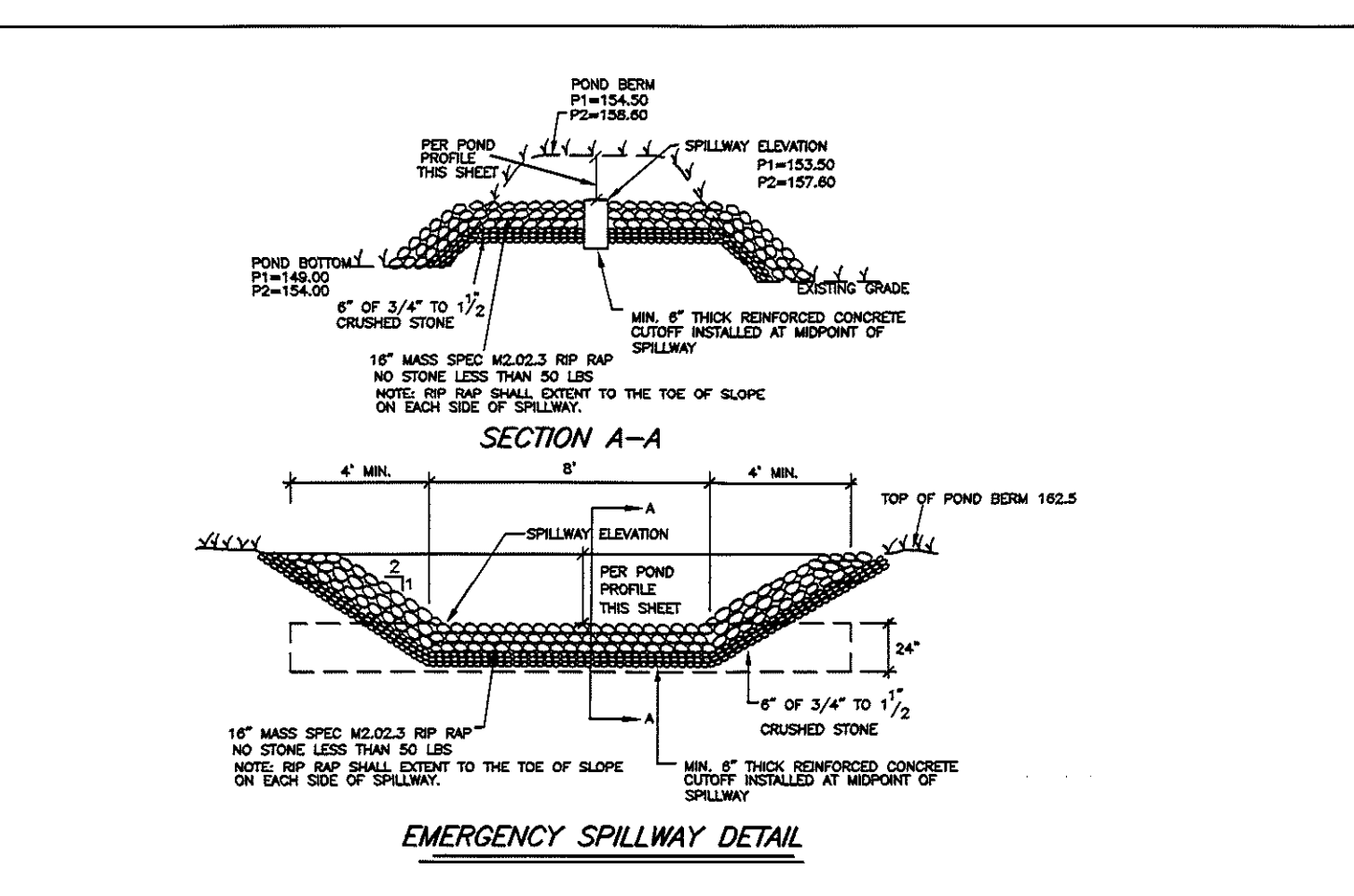
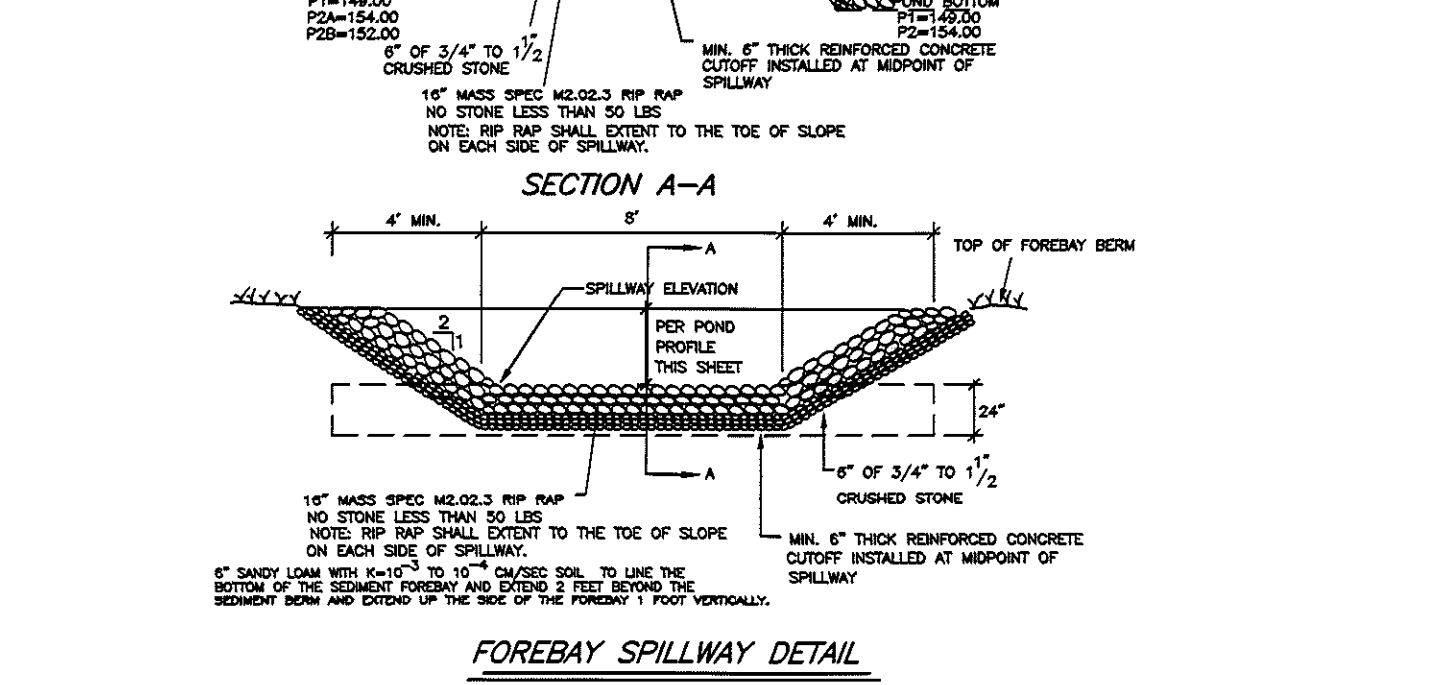
- Notes:**
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

Rinker
 MATERIALS
 Concrete Pipe Division



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Rinker
 MATERIALS
 Concrete Pipe Division



1. Subsurface Water Storage Tanks (Fire Tanks)

Subsurface water storage tanks for fire protection shall be installed within a subdivision with four or more house lots, or when in the opinion of the Planning Board and the Chief of the Westport Fire Department such tanks are necessary to protect the public safety by providing adequate water availability and flow. No tank installation shall be started until the contractor has obtained a permit from the Westport Fire Department. The tank shall be filled the first time at the expense of the Developer.

2. Location

All subsurface water tanks shall be located within easements provided exclusively for this purpose. Tanks shall not be more than fifteen hundred (1,500) feet apart so that every house will be within seven hundred fifty (750) feet of a tank. The fire tank located closest to the intersection of the proposed new road with the existing public way shall be located within fifty (50) feet from station 0+00, as measured along the right-of-way sideline of the proposed road between Stations 0+00 and 1+00 or at a location otherwise approved by the Fire Department and Planning Board. Each suction pipe shall be located at least seven (7) feet but no more than nine (9) feet from the edge of the traveled way.

3. Tank Specifications

a. Tanks shall be of a water tight fiberglass design capable of holding not less than ten thousand (10,000) gallons. Tanks shall be from a manufacturer approved by the Westport Planning Board and Fire Department, which has manufactured such tanks for at least ten (10) years preceding the installation.

b. Warranty - Tanks shall carry a warranty by said approved manufacturer which covers manufacturing defects and other failures for at least thirty (30) years. Said warranty shall be transferable to the Town of Westport, when the Town assumes ownership of the tank. Said warranty shall be from a manufacturer, approved by the Westport Planning Board and Fire Department, which has manufactured such tanks for at least ten years preceding the installation, or the tank shall be secured by a bond from a surety acceptable to the Planning Board and Town Treasurer. The developer shall submit to the Engineer for the Planning Board copies of all warranties, checklists, certificates, and other written materials, which may accompany the tank.

c. Suction Pipe - Each tank shall be equipped with a six (6) inch diameter, schedule 40, seamless suction pipe composed of steel with wall thickness of one-eighth (1/8) inch, and terminating in a six-inch NPT fitting. Said suction pipe shall be screened and shall extend four (4) inches from the bottom of the tank to a point not greater than thirty-two (32) inches above the finish grade at the edge of the traveled way. That portion of suction pipe inside the tank shall be composed of PVC pipe. A six-inch (6") PVC cap having a steel bar, one-inch by one-quarter-inch by at least two (2) feet long, bolted to it, shall be installed on the suction pipe. Said bar shall have a three-eighths-inch hole drilled through one end to accommodate a lock. In addition, chain of sufficient length to reach the bar shall be attached to the suction pipe.

d. Fill Pipe - Each tank shall be equipped with a four-inch (4") diameter steel fill pipe having two and one-half (2.5") fire department national standard thread. Said pipe shall extend three (3) feet above finish grade, be screened to prevent stones from entering the tank and be equipped with a cap equipped with a chain and capable of being locked to the pipe. Said fill pipe shall terminate in a tee with a plug installed on top to allow measurement on the water level in the tank.

e. Vent Pipe - Each tank shall be equipped with a steel vent pipe six (6) inches in diameter. Said pipe shall extend three (3) feet above finish grade, terminating in an elbow angled at 180 degrees so as to allow the opening of the pipe to face the ground. The opening shall be screened with one-fourth-inch mesh steel screening.

All cap and plug threads shall be liberally coated with Never Seez or equivalent compound to prevent thread seizure due to ice or rust.

4. Installation

a. Tanks shall be handled, stored, installed, anchored and tested in accordance with the manufacturer's instructions.

b. Excavation - For tanks of 10,000 to 20,000 gallon capacity, the tank hole size in stable soil conditions shall allow for twenty-four (24) inches between the tank sides and ends and the banks of the hole. The tank hole shall be deep enough to allow a minimum of twelve (12) inches of required backfill bed over the holes bottom (or over the concrete slab if required, a concrete slab (if required), and back fill over the tank as specified in section 100.4.05.

c. Bed and Backfill - All excavated native soil must be replaced with backfill approved by the Engineer for the Planning Board and certified to meet the manufacturer's tank requirements pertaining to particle size, roundness, quality, and soundness. No sand or native soil shall be mixed with the approved gravel. In areas of unsuitable soils, changing ground water levels, or watery conditions, or where, in the opinion of the Planning Board, it is in the best interests of the Town, the Planning Board may require the installation of a concrete slab below the tank, and may specify other modifications such as anchoring, filter fabric, or change in size of the tank hole in accordance with the manufacturer's instructions. All such installations shall be approved by the Engineer for the Planning Board.

d. Anchoring - Provisions for anchoring, where required, shall be in accordance with the manufacturer's instructions and approved by the Engineer for the Planning Board.

e. Backfill Cover - The tank shall be covered by a minimum of sixty-nine (69) inches of backfill or other minimum as required by the Planning Board and the Fire Department of the tank into groundwater. All installation shall meet the requirements of the manufacturer.

f. Barricading - The tank area shall be barricaded using temporary fencing to prevent vehicle travel over the tank until installation is complete. Thereafter, the pipes shall be protected by bollards placed in accordance with Fire Department recommendations.

5. Inspection

a. The developer or contractor shall provide the Engineer for the Planning Board with soil test and water table results, and backfill material certification with sufficient notice to review this material prior to tank installation. Where groundwater is a consideration, buoyancy calculations by a registered engineer must be submitted to verify whether concrete hold-down structures are necessary.

b. Request for Inspection - The developer or contractor shall submit a Request for Inspection letter to both the Engineer for the Planning Board and the Fire Department at least two (2) working days before the desired inspection date.

c. The tank shall be tested in accordance with the manufacturer's instructions at the expense of the developer, before installation. The Engineer for the Planning Board shall, at the expense of the developer, be present during all stages of tank installation and testing and shall inspect the tank before it is installed, the excavation, backfill, concrete pads or anchoring provisions, if required, pipes and fittings, and all other items and installation activities deemed necessary by the Engineer.

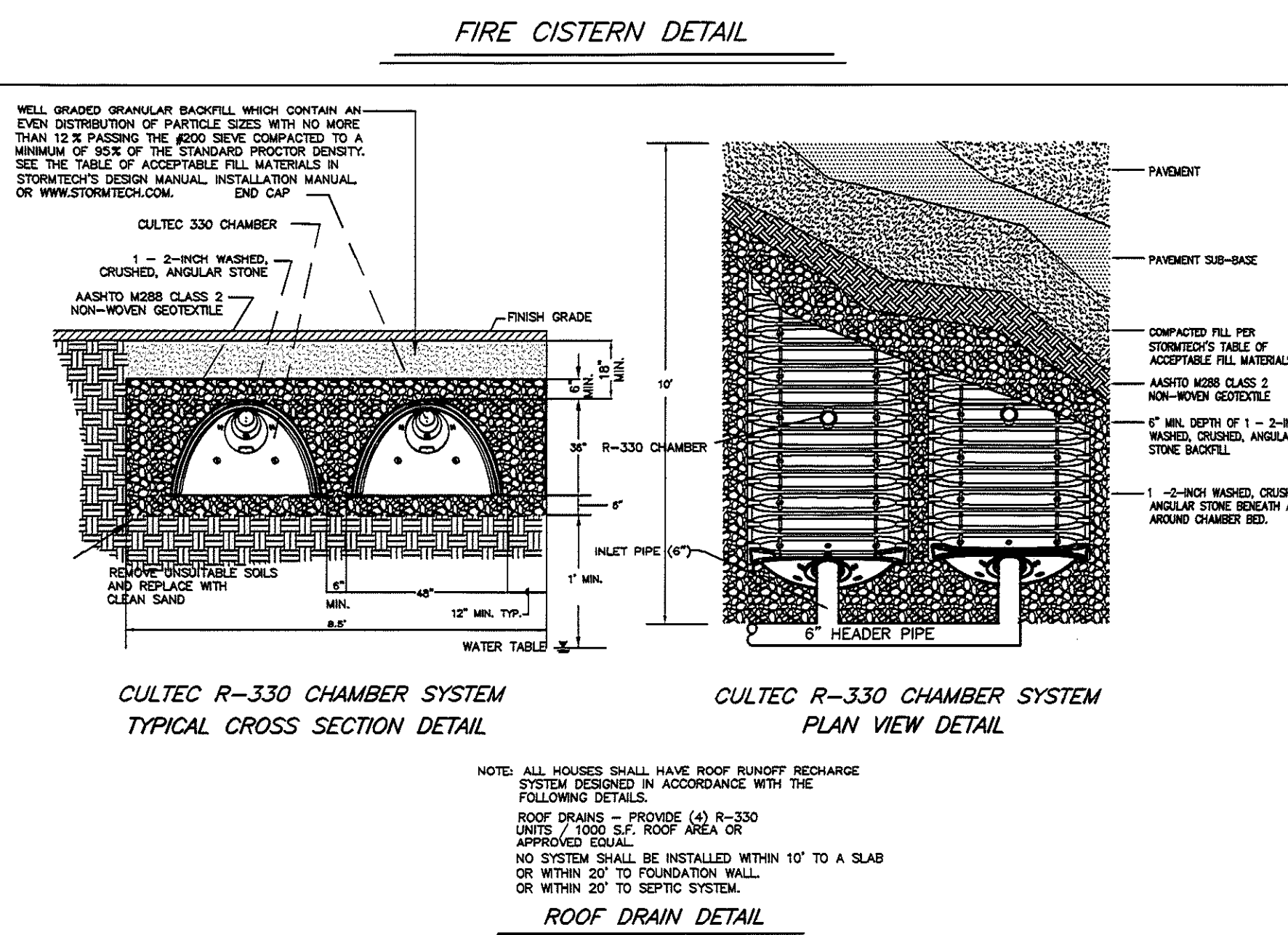
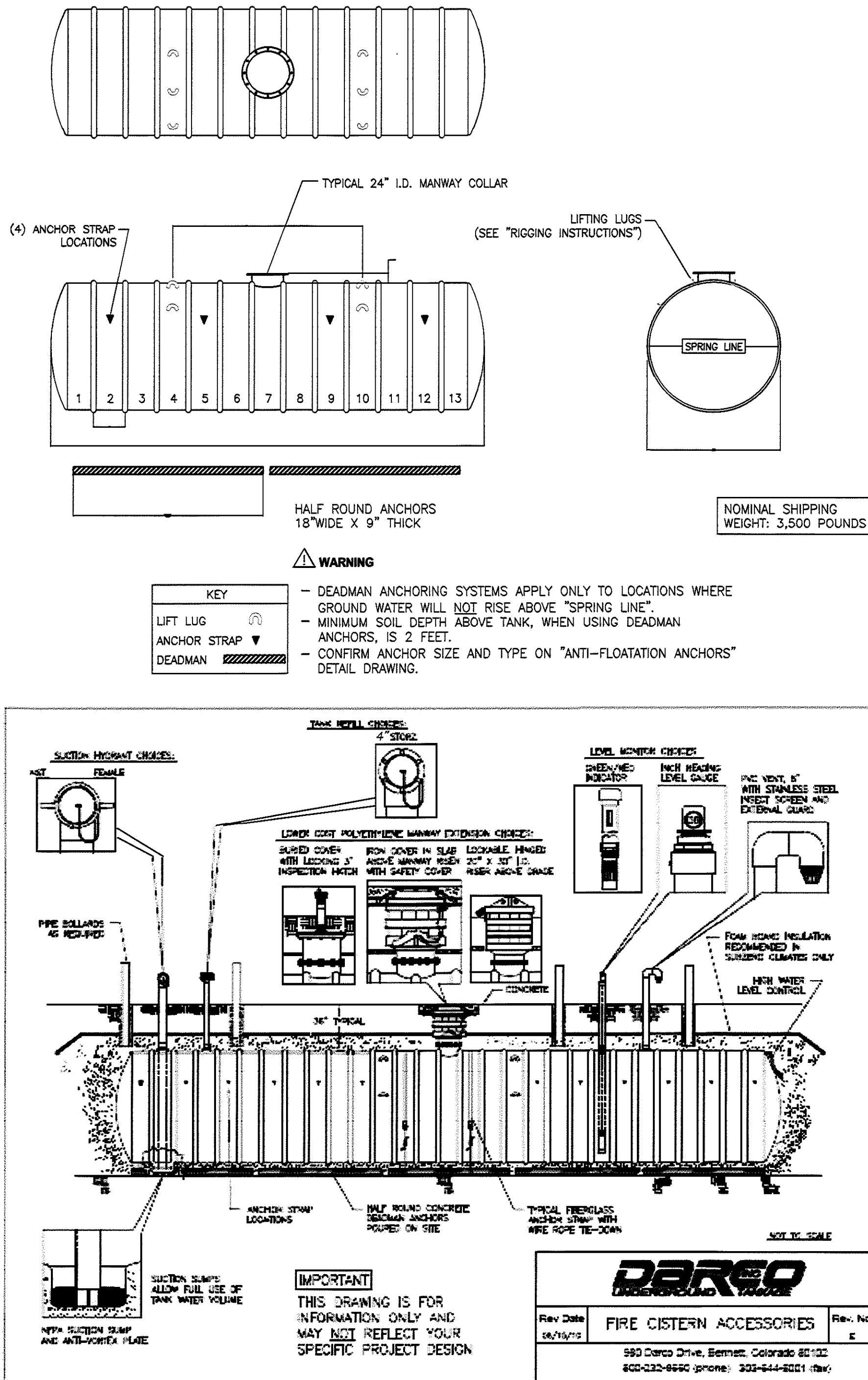
d. Installation of other utilities or structures within the underground water storage (fire) tank easement.

Other utilities should be installed on easements provided for their use. Installation of other utilities, such as electric, telephone or TV cables, boxes, or other components, within the tank easement shall be allowed only with the approval of the Engineer for the Planning Board and the Fire Department.

6. Maintenance

Underground water storage (fire) tank easements shall be maintained free of all woody vegetation to allow access to the site by Fire Department vehicles and personnel.

FIRE CISTERN NOTES



GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL COMPLY TO TOWN OF WESTPORT DEPARTMENT OF PUBLIC WORKS AND PLANNING BOARD CONSTRUCTION STANDARDS.
2. ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
3. GRANITE OR CONCRETE MONUMENTS CONFORMING TO THE DEPARTMENT OF PUBLIC WORKS STANDARDS SHALL BE INSTALLED AS SHOWN ON THE DEFINITIVE PLANS.
4. PERMANENT STREET SIGNS SHALL BE INSTALLED AS REQUIRED.
5. TELEPHONE, ELECTRIC, AND CABLE TV UTILITIES SHALL BE INSTALLED UNDER GROUND IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY STANDARDS.
6. ALL LOTS WITHIN THE SUBDIVISION ARE TO BE SERVICED BY PRIVATE WELLS AND ON-SITE SEPTIC SYSTEMS.
7. OPENINGS FOR DRIVEWAYS SHALL BE GRADED TO PREVENT NORMAL RUN-OFF WATER FROM ENTERING THE DRIVEWAY OUTSIDE OF THE STREET RIGHT-OF-WAY.
8. ALL DRAINAGE SWALES SHALL BE LOAM AND SEEDED IN ORDER TO PROVIDE STABLE VEGETATIVE COVER AND SHALL HAVE A MINIMUM BASE WIDTH OF AT LEAST TWICE THE DIAMETER OF THE DRAINAGE PIPE.
9. AN ASBUILT SET OF PLANS WILL BE PROVIDED TO PLANNING BOARD SHOWING ALL ROAD WORK AND THE LOCATION OF ALL UTILITIES. A LETTER FROM A REGISTERED LAND SURVEYOR WILL BE PROVIDED STATING THAT ALL BOUNDS HAVE BEEN SET ACCURATELY AND IN ACCORDANCE WITH THE APPROVED PLANS.
10. PRIOR TO THE CONSTRUCTION OF DWELLINGS ON ANY INDIVIDUAL LOTS; TOWN APPROVED PERCOLATION AND GROUNDWATER TESTING MUST BE COMPLETED.

EROSION AND SEDIMENT CONTROL NOTES

- 1. Erosion and sediment control measures will be installed prior to stump removal and construction. Stabilization of all degraded and soil stockpile areas will be initiated and maintained during all phases of construction.
2. All erosion control measures are to be maintained and upgraded as required to achieve proper sediment control during construction.
3. Additional control measures will be installed during the construction period, if deemed necessary by the conservation commission.
4. Catch basins will be protected with haybale filters throughout the construction period until all disturbed areas are thoroughly stabilized. Filter fabric should be installed under grate opening until pavement is in place and lawn established.
5. The Contractor shall establish an erosion control plan (haybale check or filter fabric) about ten (10) feet from toe to slope of proposed fill areas prior to beginning fill installation. Stabilization of slopes in fill areas (using mulch or grass) shall be initiated within thirty (30) days of commencement of fill installation.
6. Stabilization of slopes in cut areas (using mulch or grass) and the installation of control line (haybale check or filter fabric) at the toe of slope shall be initiated within thirty (30) days of commencement of cut.
7. Contractor will be assigned the responsibility for implementing this Erosion and Sediment Control Plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan, and notifying the proper Town agency of any transfer of this responsibility. The owner shall be responsible for conveying a copy of the Erosion and Sediment control Plan if the title to the land is transferred.
8. Stockpiles of soil shall be surrounded by a sediment barrier. Soil stockpiles to be left bare for more than fifteen (15) days shall be stabilized with temporary vegetation or mulch. If soil stockpiles are to remain for more than sixty (60) days, filter fabric shall be used in place of haybales. Side slopes shall not exceed 2:1.
9. The Contractor shall be responsible to control dust and wind erosion throughout the life of his Contract. Dust control shall include, but is not limited to sprinkling of water on exposed soils and haul roads. Contractor shall control dust to prevent a hazard to traffic on adjacent roadways.
10. If final grading is to be delayed for more than thirty (30) days after land disturbances cease, temporary vegetation or mulch shall be used to stabilize soils.

OPERATION AND MAINTENANCE SCHEDULE

- CONSTRUCTION PHASE
1. Prior to the start of construction, an erosion barrier shall be set along the perimeter of all work areas that fall within 100 feet of a Wetland Resource area abutting the parcel of work. The erosion barrier shall consist of stacked hay bales or silt fencing.
2. All catch basins, when constructed, shall be set with their frame and covers at the finish design grades. A ring of hay bales shall then be set around the grates to minimize silt accumulation in the structures.
3. All catch basins shall be periodically inspected and cleaned during the construction process with final cleaning of the basin being required at the completion of the project.
4. The construction of the project shall proceed, where practical, in a phased fashion, thereby minimizing the need to expose large areas of the site at one time.
5. All exposed areas not built upon or paved shall be stabilized immediately upon completion of the grading operation. A straw mulch shall be utilized to minimize erosion during the growing period.
6. All catch basins shall be inspected on a quarterly basis. All accumulated silt, sand, and debris greater than 6 inches in depth shall be removed from the basins. Said material shall be removed from the basins. Said material shall be disposed of at art approved, off-site location.

B.M.P. MAINTENANCE SCHEDULE

Detention Basin
The Detention Basin needs to be inspected on an annual basis to ensure that the structure operates in the manner originally intended. When possible, inspections should be conducted during wet weather to determine if the pond is functioning properly. Inspection priorities should include checking the embankment for subsidence, erosion, cracking, and tree growth; the condition of the emergency spillway and drain; the accumulation of sediment, clogging of the barrel and outlet; the adequacy of upstream and downstream channel erosion protection measures; any modifications which have occurred to the contributing watershed and (the pond structure); and the stability of the side-slopes. Inspections should be carried out with as-built pond plans in hand. As part of periodic mowing operations, debris and litter should be removed from the surface of the pond.
RESPONSIBLE PARTY
The operation and maintenance of the BMP's listed above shall be the responsibility of the developer. If the roadway is ever formerly occupied by the Town of Westport, the operation and maintenance of the BMP's will become the responsibility of the Town.

CONTRACTOR NOTES

- 1. CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THIS PLAN IS BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
3. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
4. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ABUTTING AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
5. THIS PROJECT IS SUBJECT TO AN ORDER OF CONDITIONS ISSUED BY THE TOWN OF WESTPORT CONSERVATION COMMISSION. THE CONTRACTOR SHALL BE FAMILIAR WITH THE CONDITIONS OUTLINED IN THIS DOCUMENT.

NOTES:

- 1. 6" X 6" CONCRETE BOUNDS SHALL BE SET ON EXTERIOR STREET LINES AT ALL ANGLE POINTS, INTERSECTIONS AND AT ALL CURVES.
2. ALL LOTS WILL BE SERVICED BY INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND PRIVATE DRINKING WATER WELLS.
3. ALL LOTS REQUIRE THAT ROOF RUNOFF SHALL BE COLLECTED VIA DOWNSPOUTS AND RECHARGED INTO THE GROUND WITH ROOF DRAIN DRYWELLS.
4. ALL WETLAND RESOURCE AREAS SHOWN HAVE BEEN APPROVED THROUGH AN ORDER OF RESOURCE AREA DELINEATION ISSUED BY THE WESTPORT CONSERVATION COMMISSION ON 11-13-14. DEP FILE NUMBER 80-2146

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL COMPLY TO TOWN OF WESTPORT DEPARTMENT OF PUBLIC WORKS AND PLANNING BOARD CONSTRUCTION STANDARDS.
2. ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
3. PERMANENT STREET SIGNS SHALL BE INSTALLED AS REQUIRED.
4. TELEPHONE, ELECTRIC, AND CABLE TV UTILITIES SHALL BE INSTALLED BELOW GROUND IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY STANDARDS.
5. OPENINGS FOR DRIVEWAYS SHALL BE GRADED TO PREVENT NORMAL RUN-OFF WATER FROM ENTERING THE DRIVEWAY OUTSIDE OF THE STREET RIGHT-OF-WAY. ALL DRIVEWAY APRONS SHALL BE PAVED.
6. ALL DRAINAGE SWALES SHALL BE LOAM AND SEEDED IN ORDER TO PROVIDE STABLE VEGETATIVE COVER AND SHALL HAVE A MINIMUM BASE WIDTH OF AT LEAST TWICE THE DIAMETER OF THE DRAINAGE PIPE.
7. AN ASBUILT SET OF PLANS WILL BE PROVIDED TO PLANNING BOARD SHOWING ALL ROAD WORK AND THE LOCATION OF ALL UTILITIES. A LETTER FROM A REGISTERED LAND SURVEYOR WILL BE PROVIDED STATING THAT ALL BOUNDS HAVE BEEN SET ACCURATELY AND IN ACCORDANCE WITH THE APPROVED PLANS.
8. THE PROPOSED STREETS SHOWN ON THIS PLAN ARE PRIVATE STREETS AND SHALL REMAIN PRIVATE UNTIL SUCH TIME THE STREETS ARE ACCEPTED BY A MAJORITY VOTE AT AN ANNUAL TOWN MEETING. WHILE MOST COMPLETED STREETS BUILT TO TOWN STANDARDS ARE ACCEPTED, IT STILL REQUIRES AN AFFIRMATIVE VOTE AT TOWN MEETING AND ACCEPTANCE IS NOT GUARANTEED. MAINTENANCE AND CARE OF PRIVATE STREETS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR HOMEOWNERS.

FOR REGISTRY USE ONLY

PLANNING BOARD
THIS PLAN HAS NOT BEEN MODIFIED, AMENDED RESCINDED, NOR THE PLAN CHANGED.

Jan K. Hutton 8/15/17

TOWN OF WESTPORT PLANNING BOARD
APPROVED UNDER "SUBDIVISION CONTROL LAW"

Table with columns for Board Members, Preliminary Date Filed, and Definitive Date Filed. Includes signatures and dates for various members.

SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 7/28/16 RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON JUNE 3, 2016 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.
Mallory Moximer 8/19/2016
TOWN CLERK, WESTPORT, MA

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

WAIVERS:

- 1. SEC III (B)4 TO WAIVE THE REQUIRED COST ESTIMATE.
2. SEC IV(A) i TO WAIVE THE REQUIREMENT FOR 25' CORNERS AT STREET LINE INTERSECTIONS.
3. SEC V(C) TO WAIVE THE 20% STORMWATER REDUCTION REQUIREMENT FOR PEAK FLOW RATES AT THE SUBDIVISION BOUNDARY. NO INCREASE IN STORMWATER PEAK FLOW IS ALLOWED AT THE SUBDIVISION BOUNDARY.
4. SEC IV(A.2) TO WAIVE THE REQUIREMENTS OF TABLE "A" REQUIRING 26' OF PAVEMENT WIDTH (22' PROPOSED IN WHALON WAY)

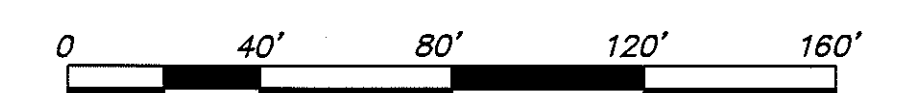
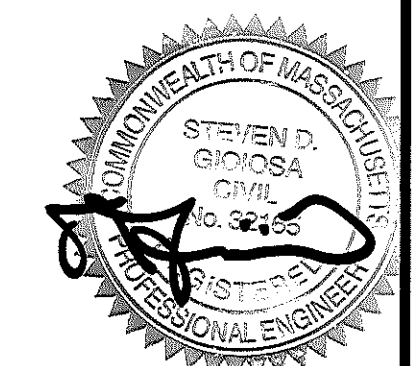
PARCEL SUMMARY

MAP 5 LOT 18
MAP 5 LOT 16
MAP 5 LOT 50-68
OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA
MAP 5 LOT 18
OWNER: ROBERT G KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA
MAP 5 LOT 50-68
OWNER: WARREN M MESSIER
180 TICKLE ROAD
WESTPORT, MA
DEED REFERENCE:
DEED RECORDED IN BRISTOL COUNTY SOUTH REGISTRY OF DEEDS IN DEED BOOK 5179 PAGE 235. IN DEED BOOK 11756 PAGE 21. IN DEED BOOK 1947 PAGE 632.
ZONE - RESIDENCE / AGRICULTURE
MIN. AREA - 60,000 SQ.FT.
MIN. UPLAND AREA - 30,000 SQ.FT.
MIN. FRONTAGE - 150'
SETBACKS: FRONT - 25'
SIDE - 10'
REAR - 6'

"BENTLEY ESTATES II"
DEFINITIVE SUBDIVISION
MAP 5 LOT 16, 18, 50-68
IN
WESTPORT, MA

PREPARED FOR
ROBERT KFOURY
SCALE: 1"=40'
REVISED: 2-8-16, 4-7-16, 5-26-16

SITEC, Inc.
449 Fauce Corner Road
North Dorset, MA 02747
(508) 998-2125
FAX (508) 998-7554



Bentley Estates II

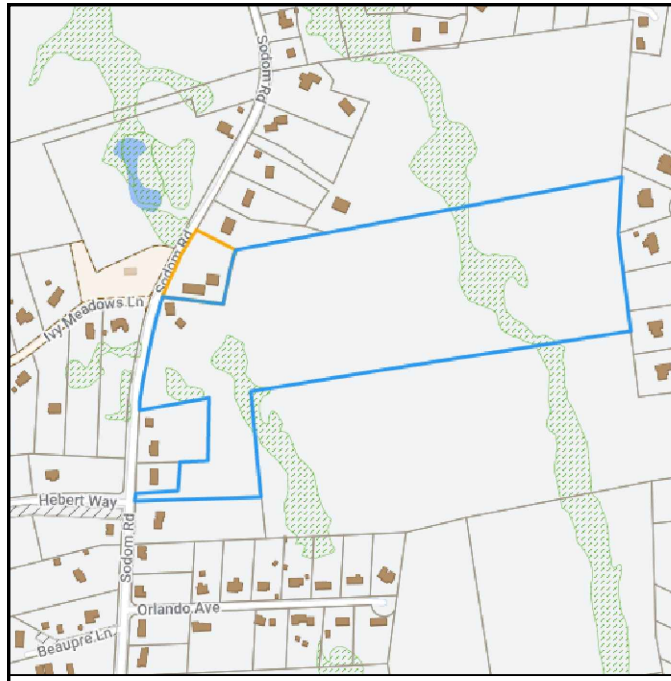
15-009C

Applicant Robert Kfoury
 Robert Kfoury, Trustee, KRG Rlty Tr
 306 McGowan St
 Fal River, MA 02723
 508 673 7540

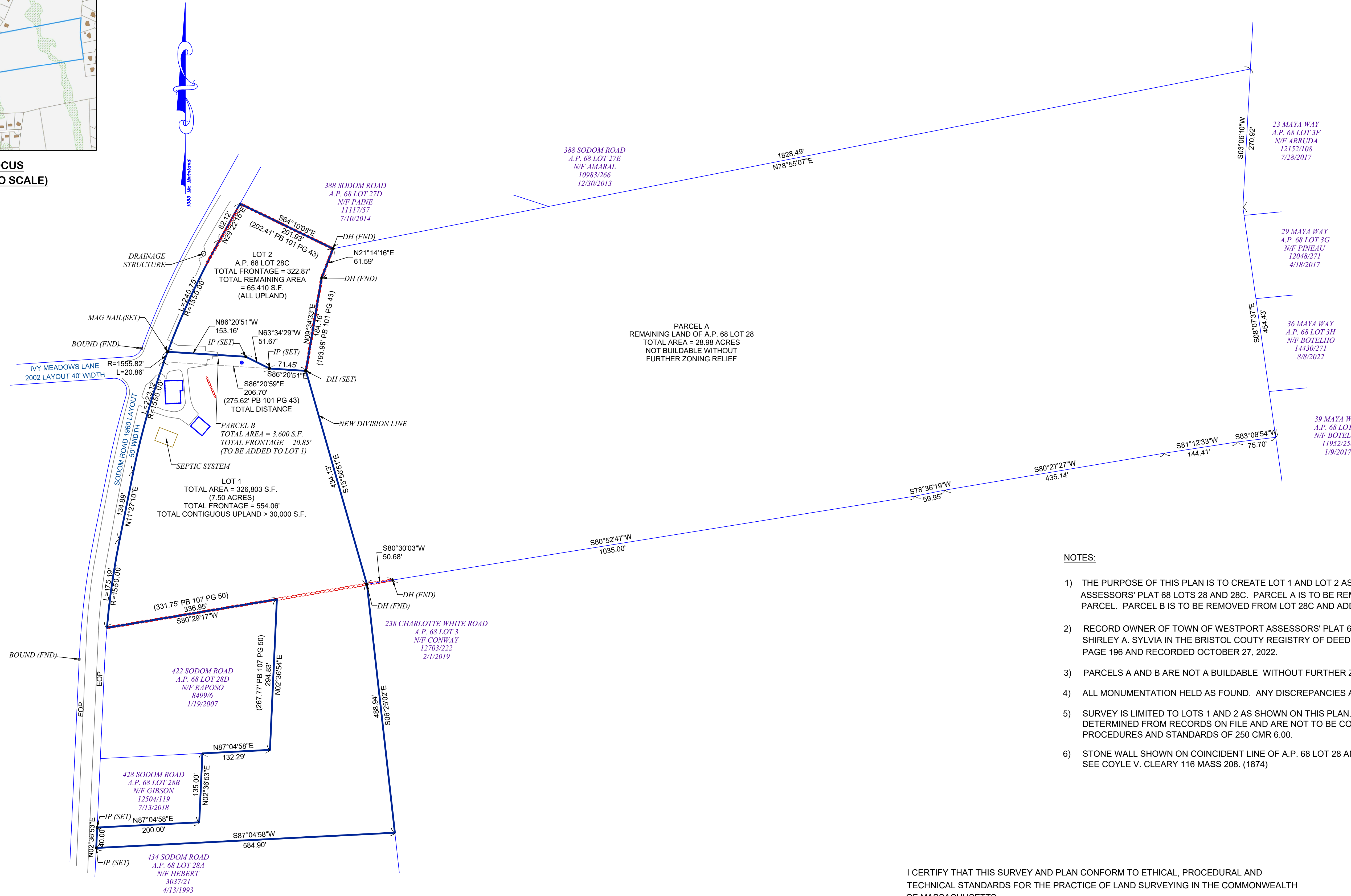
Date: March 13, 2023
 Account Type Construction Phase
 Account No. 10967881
 S.W. Cole Act # 11917.760

SUMMARY

Date	Description	Work Order	Credit	Debit	Balance
8/25/15	Initial Work Authorization for TEC	\$ 2,000.00			0
8/28/15	Initial Deposit		2,500.00		\$ 2,500.00
10/1/15	Initial Deposit for IH-SP		800.00		\$ 3,300.00
10/5/15	TEC Inv. 30994			1,995.98	\$ 1,304.02
3/14/16	Additional Deposit		1,100.00		\$ 2,404.02
4/4/16	TEC Inv. 61517			1,010.98	\$ 1,393.04
6/7/16	TEC Inv. 61696			250.94	\$ 1,142.10
8/8/16	TEC Inv. 61832			122.50	\$ 1,019.60
8/8/16	Review phase closed, balance to "Construction Phase per applicant			1,019.60	\$ (0.00)
8/8/16	Blanace to Construction Phase per applicant		1,019.60		\$ 1,019.60
9/27/16	Additional Deposit for Construction Phase		3,000.00		\$ 4,019.60
11/18/16	TEC Inv. 62123			247.69	\$ 3,771.91
7/17/17	TEC Inv. 62767			207.06	\$ 3,564.85
8/14/17	TEC Inv. 62821			575.34	\$ 2,989.51
9/11/17	Tec Inv. 62882			295.83	\$ 2,693.68
10/13/17	TEC Inv. 63081			2,533.86	\$ 159.82
10/20/17	Additional Deposit for Construction Phase		3,000.00		\$ 3,159.82
11/21/17	TEC Inv 63170			1,370.36	\$ 1,789.46
12/26/17	TEC Inv. 83624			206.94	\$ 1,582.52
1/19/18	TEC Inv. 83944			104.55	\$ 1,477.97
4/31/18	TEC Inv. 84730			120.60	\$ 1,357.37
5/23/18	TEC Inv. 85006			130.80	\$ 1,226.57
6/15/18	Additional Deposit for Construction/obser		3,000.00		\$ 4,226.57
6/18/18	TEC Inv. 85574			2,814.70	\$ 1,411.87
6/26/18	S.W. Cole Inv. 86002			978.80	\$ 433.07
8/14/18	S.W. Cole Inv. 86343			11.25	\$ 421.82
10/30/18	SW Cole Inv. 87872			193.75	\$ 228.07
12/5/18	SW Cole Inv. 88360			13.75	\$ 214.32
9/3/19	Additional Deposit		3,000.00		\$ 3,214.32
9/17/19	SW Cole Inv. 86903			407.51	\$ 2,806.81
11/12/19	S.W. Cole Inv. 93243			1,303.43	\$ 1,503.38
2/4/20	S.W. Cole Inv. 95039			1,063.03	\$ 440.35
					\$ 440.35



**LOCUS
(NOT TO SCALE)**



LEGEND

- STONE WALL
- DRILL HOLE
- IRON PIN
- BOUND
- WELL

DEED REFERENCES:
AS NOTED ON PLAN

PLAN REFERENCES:
 PLAN BOOK 107 PAGE 50
 PLAN BOOK 101 PAGE 43
 PLAN BOOK 116 PAGE 32
 PLAN BOOK 112 PAGE 144
 PLAN BOOK 170 PAGE 53
 1960 LAYOUT OF SODOM ROAD
 2002 LAYOUT OF IVY MEADOWS LANE

NOTES:

- 1) THE PURPOSE OF THIS PLAN IS TO CREATE LOT 1 AND LOT 2 AS SHOWN ON THIS PLAN FROM THE TOWN OF WESTPORT ASSESSORS' PLAT 68 LOTS 28 AND 28C. PARCEL A IS TO BE REMOVED FROM A.P. 68 LOT 28 AND REMAIN AN UNBUILDABLE PARCEL. PARCEL B IS TO BE REMOVED FROM LOT 28C AND ADDED TO LOT 1.
- 2) RECORD OWNER OF TOWN OF WESTPORT ASSESSORS' PLAT 68 LOTS 29 AND 28C LISTED AS SHIRLEY A. SYLVIA IN THE BRISTOL COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT IN BOOK 14512 PAGE 196 AND RECORDED OCTOBER 27, 2022.
- 3) PARCELS A AND B ARE NOT A BUILDABLE WITHOUT FURTHER ZONING RELIEF.
- 4) ALL MONUMENTATION HELD AS FOUND. ANY DISCREPANCIES ARE AS NOTED ON PLAN.
- 5) SURVEY IS LIMITED TO LOTS 1 AND 2 AS SHOWN ON THIS PLAN. PARCEL A BOUNDARIES SHOWN AS DETERMINED FROM RECORDS ON FILE AND ARE NOT TO BE CONSIDERED ESTABLISHED IN ACCORDANCE WITH THE PROCEDURES AND STANDARDS OF 250 CMR 6.00.
- 6) STONE WALL SHOWN ON COINCIDENT LINE OF A.P. 68 LOT 28 AND LOT 28 D HELD AS PROPERTY LINE SEE COYLE V. CLEARY 116 MASS 208. (1874)

I CERTIFY THAT THIS SURVEY AND PLAN CONFORM TO ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

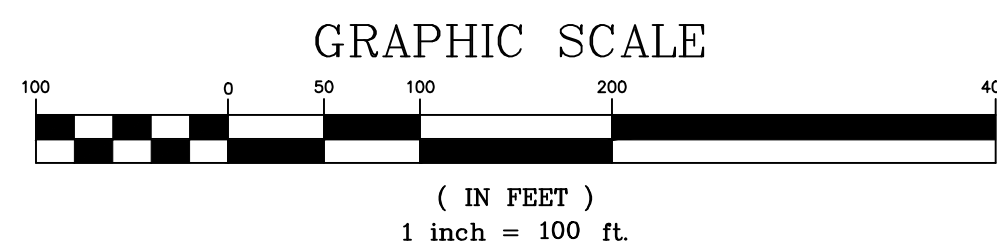
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 2018.

REGISTERED PROFESSIONAL LAND SURVEYOR

DATE

APPROVAL UNDER SUBDIVISION CONTROL LAW NOT REQUIRED WESTPORT PLANNING BOARD

- 1) _____
 - 2) _____
 - 3) _____
 - 4) _____
 - 5) _____
- DATE: _____



ENDORSEMENT BY THE PLANNING BOARD DOES NOT CONSTITUTE CONFORMANCE TO WESTPORT ZONING BYLAWS NOR ASSURE THAT ANY LOT CREATED HEREIN IS BUILDABLE.

PLAN OF LAND

AT: **408 SODOM ROAD**

WESTPORT, MA

FOR: **SHIRLEY SYLVIA**

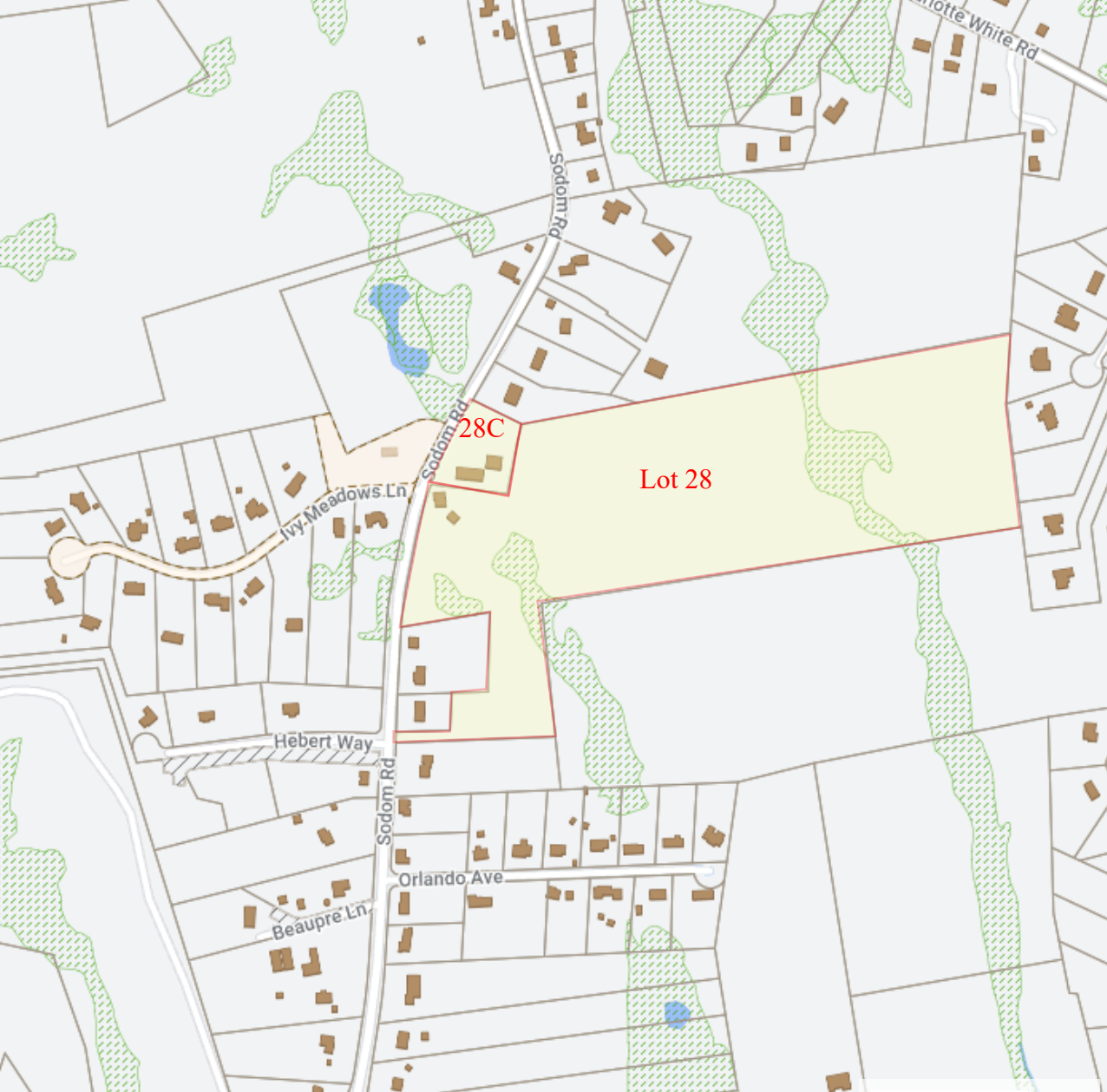
SOUTHCOAST ENGINEERING

P.O BOX N 217 WESTPORT, MA 02790

SCALE: AS NOTED (508) 636-8815 DATE: 4/12/23

DESIGN: GN DRAWN BY: GN REV:

REV: FIELD: VV, GN, SB, TN



28C

Lot 28

Sodom Rd

Stotte White Rd

Ivy Meadows Ln

Hebert Way

Sodom Rd

Orlando Ave

Beaupre Ln

May 3, 2021
Project No. 11253.560

Mr. James Whitin, Chairman
Westport Planning Board
Town Hall Annex
856 Main Road
Westport, Ma. 02790

RECEIVED
May 3, 2021
WESTPORT
PLANNING BOARD

RE Oak Ridge
Private Elderly Community
Westport, Ma.

Dear Mr. Whitin

In accordance with a request from the Westport Planning Department, a site review and as-built plan review were performed to evaluate a completion status for the project. S.W. COLE, utilized the Special Permit Decision approval dated August 15, 2006 and Special Permit plans approval dated August 3, 2006 for project compliance reference. The following comments and observations are noted.

WINDSOR DRIVE

1. The Windsor Drive roadway has been constructed in full to top HMA Pavement grade between Cabot Street cul-de-sac Sta. 0+00 and a terminus cul-de-sac at Sta. 17+50 . The installed pavement has several locations with match joint separation or parallel cracks. Match joints along several driveways are open with potential safety concerns. HMA Cape Cod berms are installed the full length of the roadway.
2. Both roadway shoulders are landscaped showing a good stable grass growth established.

3. Street lighting and street trees are installed randomly along the roadway and within the terminus cul-de-sac. The street trees appear to be healthy with established root systems based on visual observations.
4. A project Name sign is installed at the Cabot Street cul-de-sac and street name signs are installed at the intersection of Crestview Drive.
5. Each Housing units has Bldg. identification numbers in-place, individual driveways and Water Wells.
6. Each housing unit is serviced by a force main sewer system and underground utilities for electric, telephone and cable.
7. Paved sidewalks, Handicap roadway crossing ramps, and painted roadway crosswalks have not be installed.
8. Random roadway width measurements shows the average width between 19 LF to 19.5 LF.
9. A community mailbox location is installed opposite the Crestview Drive intersection.
10. The roadway drainage systems which outlets into a Detention Basin is in-place and appears to be functioning but will require catch basin cleaning and detention basin inlet and outlet cleaning and maintenance issues at the Outlet Control Structure addressed.
12. The Drainage Detention Basin has been constructed, appears stable with vegetation growth but will require Outlet control components to be installed and cleaning at inlet and outlet piping and forebay.
13. The Sanitary sewer system appears to be functioning, the combined leaching fields are not showing any observed erosion or leaching failures.

14. A community dumpster is in-place with screening fencing.

15. The Fire prevention tank appears not to be in compliance with several plan and fire Department requirements for exterior piping, setback and painting.

- It's noted that during the site inspection several Residents indicated a concern for the lack of sidewalks within the community.

CRESTVIEW DRIVE

1. The roadway is constructed thru HMA top pavement grade between Windsor Drive at Sta. 0+0, and cul-de-sac at Sta. 6+50. Minor pavement cracking and driveway match joint separation was observed. The Roadway Pavement has an average width of 19 LF.

2. Both roadway shoulders are landscaped with a stable grass growth established. Street trees are installed at random along roadway and in cul-de-sac.

3. The Windsor Drive comments from items 5, 6, 7, 8 10 thru 14 also applies to Crestview Drive

AS-BUILT PLAN

- 1- The as-built plan is considered incomplete with several omissions noted stationing, signs, lighting, trees and plantings, driveways, roadway width.
- 2- Three drainage manholes and outlet control structure have invert conflicts.
- 3- Project bench mark was not noted on the drawing.
- 4- The Standard Private Road Plan notation that "Roadways are private not subject to Town Acceptance" is also not included on the drawing.

Please see the attached photos are attached for the boards use and reference.

Sincerely

S.W. COLE ENGINEERING, INC.



Derek G. Mello

Construction Service Manager

















Civil Engineering Concepts, Inc

34A Main Street
Little Compton, RI 02837
Ph 401-592-0177
Fax 401-592-0178
Email wsmithcec@aol.com

8 May, 2023



Westport Planning Board
Attn: Amy Messier
Town Hall Annex
856 Main Road
Westport, MA 02790

Subject: OAKRIDGE AS-BUILT, CHABOT STREET, WESTPORT, MA **06-001SP-MAJOR**

CEC Job # 03-044

Dear Ms. Messier:

The following is submitted in response to the S. W. Cole comments dated 5-3-23:

WINDSOR DRIVE

1. Comment: The installed pavement has several locations with match joint separation or parallel cracks. Match joints along several driveway are open with potential safety concerns
Response: The pavement was installed approximately 15 years ago. The joints were tight when the final coat of asphalt was placed. The referenced open joints should be filled and sealed. The condo association has taken over this required maintenance related work.

Comments 2-6, 8, 9, 13, 14 no issues noted (there was no comment 11)

7. Comment: Paved sidewalks, handicap roadway crossing, ramps, and painted roadway crosswalks have not be installed.
Response: The developer and the homeowners association has been requested by the Planning Board to address the omission of the sidewalk and decide if an agreement can be reached. To date nothing has been worked out.
- 10 & 12. Comment: The roadway drainage systems which outlets into a Detention Basin is in place and appears to be functioning but will require catch basin cleaning and detention basin inlet and outlet cleaning and maintenances issues at the Outlet Control Structure addressed.
Response: The condo association has taken over the operation and maintenance of the condo infrastructure. The developer had performed cleaning of the stormwater system prior to turning over the project approximately 14 years ago.

12. Comment: The fire prevention tank appears not to be in compliance with several plan and Fire Department Requirements for exterior piping, setback and painting
Response: The developer initially installed the cistern and then made several changes to the piping system as required by the Fire Department. The Developer coordinated with the Fire Department for final concurrence. It is our understanding that the cistern is acceptable to the Fire Department.

CRESTVIEW DRIVE

Comments 1 & 2 – no issues noted

3. Comment: The Windsor Drive Comments from 5,6,7,8,10 thru 14 also apply to Crestview Drive
Response: Please see the Windsor Drive comments above.

AS-BUILT PLAN

1. Comment: The asbuilt is considered incomplete with several omission noted stationing, signs, lighting, trees and plantings, driveway, roadway width.
Response: The asbuilt plans have been edited to include the stationing signs, lights, trees, vegetated islands, driveways and road/ drive width. Plantings around the individual units have not been included.
2. Comment: Three drainage manholes and outlet control structures have conflicts.
Response: The manholes and outlet control structure inverts were reviewed and revised accordingly. Please note that the invert of the flared end was intentionally designed to be slightly below the top of the level spreader to ensure a more equal flow over the level spreader
3. Comment: The project benchmark was not noted on the plans.
Response: The benchmark has been added to the plan as requested
4. Comment: The Standard Private Road Plan notation the “Roadways are private not subject to Town Acceptance”
Response: Windsor Drive and Crestview Drive are common driveways and not roads. There is not 40’ wide roadway layout as the property is all common land. The Condo Association is responsible for the maintenance of any of the infrastructure within the common land. This would include driveway patching, catch basin/ storm drain system cleaning

I will forward the revised plans and these comments by email and in paper form. Please do not hesitate to contact me should any questions arise:

Email Copy To:

R. Leblanc-Westport Horizons Development Corp

Mark Levin

Derek Mello – S. W. Cole



William F. Smith, P.E.
President

May 3, 2021
Project No. 11253.560

Mr. James Whitin, Chairman
Westport Planning Board
Town Hall Annex
856 Main Road
Westport, Ma. 02790

RE Oak Ridge
Private Elderly Community
Westport, Ma.

Dear Mr. Whitin

In accordance with a request from the Westport Planning Department, a site review and as-built plan review were performed to evaluate a completion status for the project. S.W. COLE, utilized the Special Permit Decision approval dated August 15, 2006 and Special Permit plans approval dated August 3, 2006 for project compliance reference. The following comments and observations are noted.

WINDSOR DRIVE

1. The Windsor Drive roadway has been constructed in full to top HMA Pavement grade between Cabot Street cul-de-sac Sta. 0+00 and a terminus cul-de-sac at Sta. 17+50 . The installed pavement has several locations with match joint separation or parallel cracks. Match joints along several driveways are open with potential safety concerns. HMA Cape Cod berms are installed the full length of the roadway.
2. Both roadway shoulders are landscaped showing a good stable grass growth established.

3. Street lighting and street trees are installed randomly along the roadway and within the terminus cul-de-sac. The street trees appear to be healthy with established root systems based on visual observations.
4. A project Name sign is installed at the Cabot Street cul-de-sac and street name signs are installed at the intersection of Crestview Drive.
5. Each Housing units has Bldg. identification numbers in-place, individual driveways and Water Wells.
6. Each housing unit is serviced by a force main sewer system and underground utilities for electric, telephone and cable.
7. Paved sidewalks, Handicap roadway crossing ramps, and painted roadway crosswalks have not be installed.
8. Random roadway width measurements shows the average width between 19 LF to 19.5 LF.
9. A community mailbox location is installed opposite the Crestview Drive intersection.
10. The roadway drainage systems which outlets into a Detention Basin is in-place and appears to be functioning but will require catch basin cleaning and detention basin inlet and outlet cleaning and maintenance issues at the Outlet Control Structure addressed.
12. The Drainage Detention Basin has been constructed, appears stable with vegetation growth but will require Outlet control components to be installed and cleaning at inlet and outlet piping and forebay.
13. The Sanitary sewer system appears to be functioning, the combined leaching fields are not showing any observed erosion or leaching failures.

14. A community dumpster is in-place with screening fencing.
15. The Fire prevention tank appears not to be in compliance with several plan and fire Department requirements for exterior piping, setback and painting.
 - It's noted that during the site inspection several Residents indicated a concern for the lack of sidewalks within the community.

CRESTVIEW DRIVE

1. The roadway is constructed thru HMA top pavement grade between Windsor Drive at Sta. 0+0, and cul-de-sac at Sta. 6+50. Minor pavement cracking and driveway match joint separation was observed. The Roadway Pavement has an average width of 19 LF.

2. Both roadway shoulders are landscaped with a stable grass growth established. Street trees are installed at random along roadway and in cul-de-sac.

3. The Windsor Drive comments from items 5, 6, 7, 8 10 thru 14 also applies to Crestview Drive

AS-BUILT PLAN

- 1- The as-built plan is considered incomplete with several omissions noted stationing, signs, lighting, trees and plantings, driveways, roadway width.
- 2- Three drainage manholes and outlet control structure have invert conflicts.
- 3- Project bench mark was not noted on the drawing.
- 4- The Standard Private Road Plan notation that "Roadways are private not subject to Town Acceptance" is also not included on the drawing.

Please see the attached photos are attached for the boards use and reference.

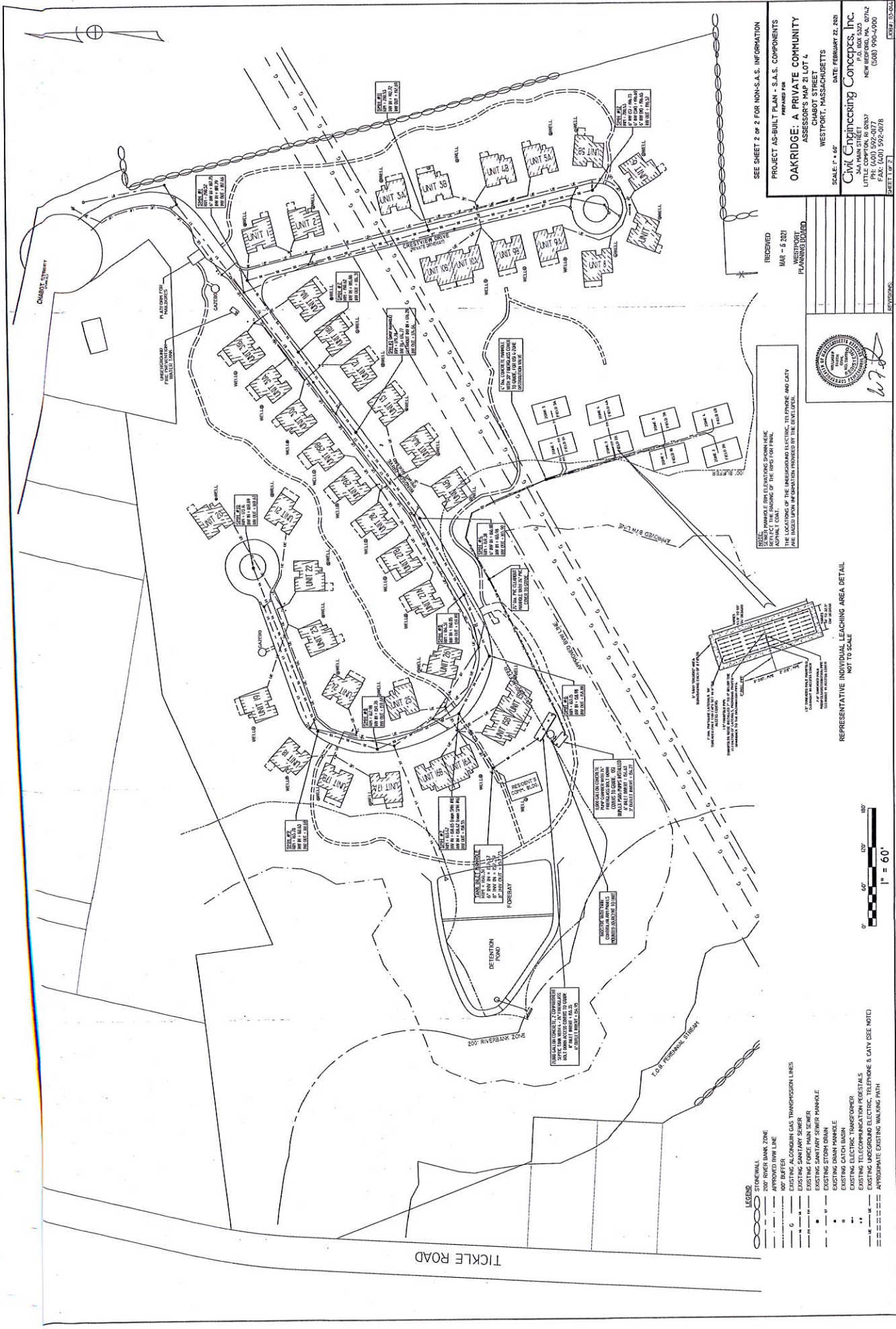
Sincerely

S.W. COLE ENGINEERING, INC.



Derek G. Mello

Construction Service Manager

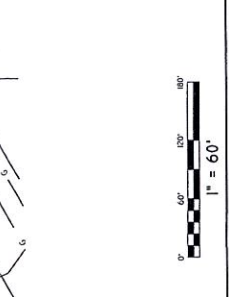


SEE SHEET 2 OF 2 FOR NON-S.A.S. INFORMATION
 PROJECT AS-BUILT PLAN - S.A.S. COMPONENTS
 PREPARED FOR
OAKRIDGE: A PRIVATE COMMUNITY
 ASSESSOR'S MAP 21 LOT 4
 CHABOT STREET
 WESTPORT, MASSACHUSETTS
 SCALE: 1" = 60'
 DATE: FEBRUARY 22, 2020
Civil Engineering Concepts, Inc.
 100 MAIN STREET
 LITTLETON, CO 80120
 PHONE: (303) 592-9377
 FAX: (303) 592-9378
 SHEET 1 OF 2

RECEIVED
 MAR - 5 2021
 WESTPORT
 PLANNING BOARD

STREET MANHOLE RIM ELEVATIONS SHOWN HERE
 ARE BASED ON THE FINISHING OF THE RIMS FOR FINAL
 ASPHALT CON. THE LOCATIONS OF THE UNDERGROUND ELECTRIC, TELEPHONE AND CABLE
 ARE BASED UPON INFORMATION PROVIDED BY THE DEVELOPER.

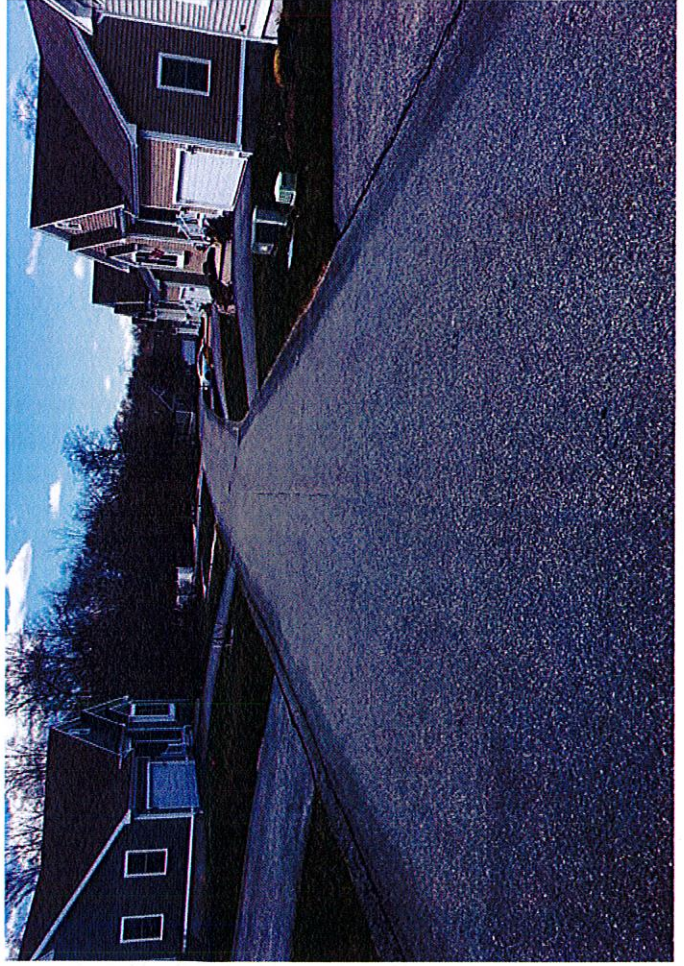
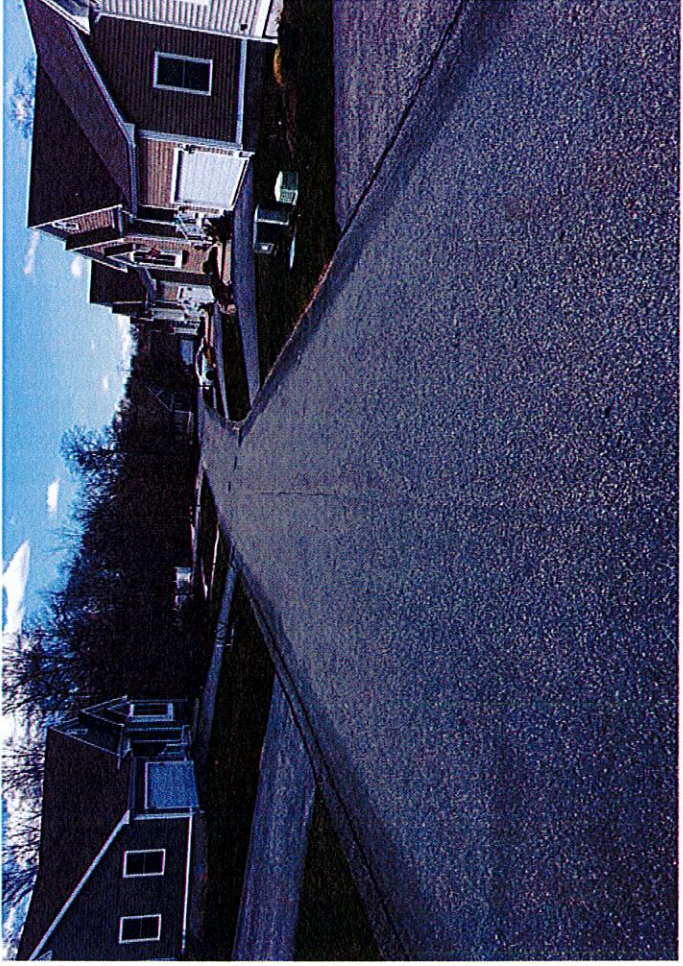
REPRESENTATIVE INDIVIDUAL LEACHING AREA DETAIL
 NOT TO SCALE

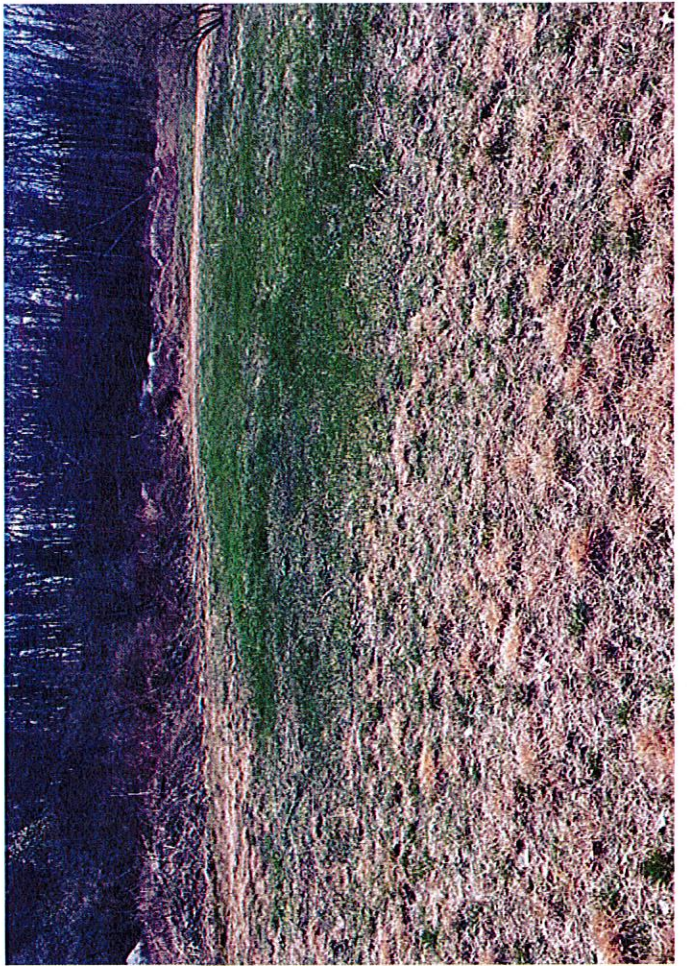


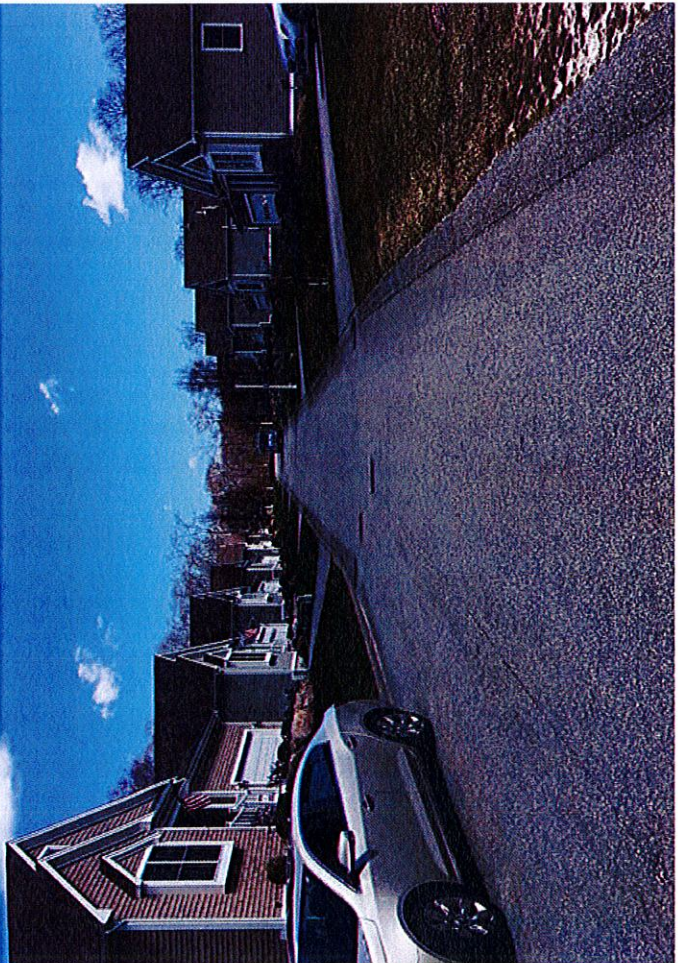
- LEGEND**
- 200' RIVERBANK ZONE
 - APPROVED R/W LINE
 - 60' BUFFER
 - PERENNIAL GAS TRANSMISSION LINES
 - EXISTING SANITARY SEWER
 - EXISTING FORCE MAIN SEWER
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM DRAIN
 - EXISTING CATCH BASIN
 - EXISTING ELECTRIC TRANSFORMER
 - EXISTING TELECOMMUNICATION PEDESTALS
 - EXISTING UNDERGROUND ELECTRIC, TELEPHONE & CABLE (SEE NOTE)
 - APPROPRIATE EXISTING WALKING PATH

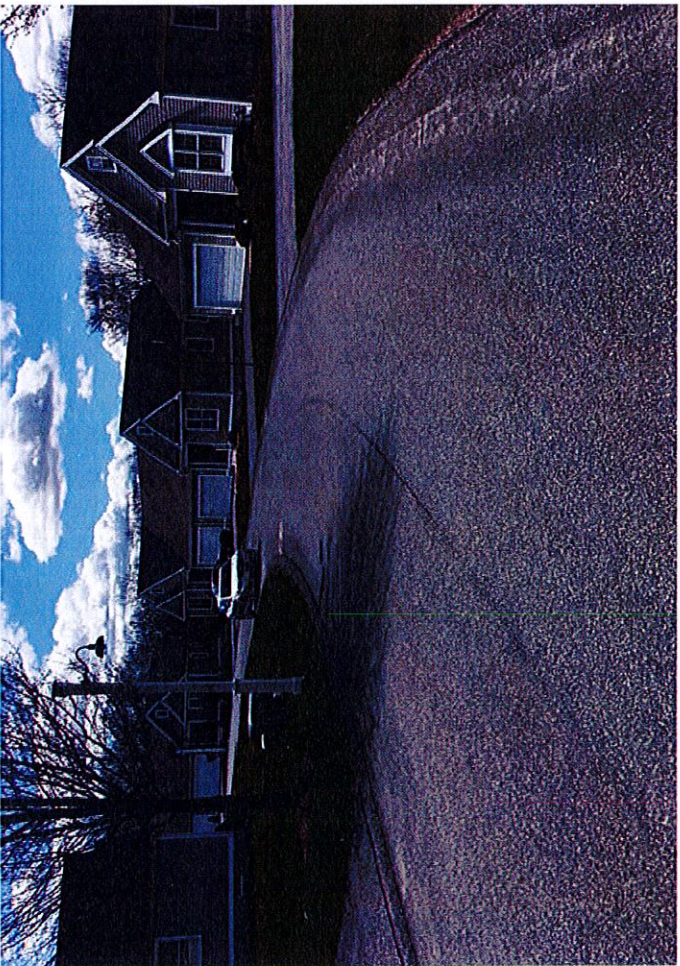


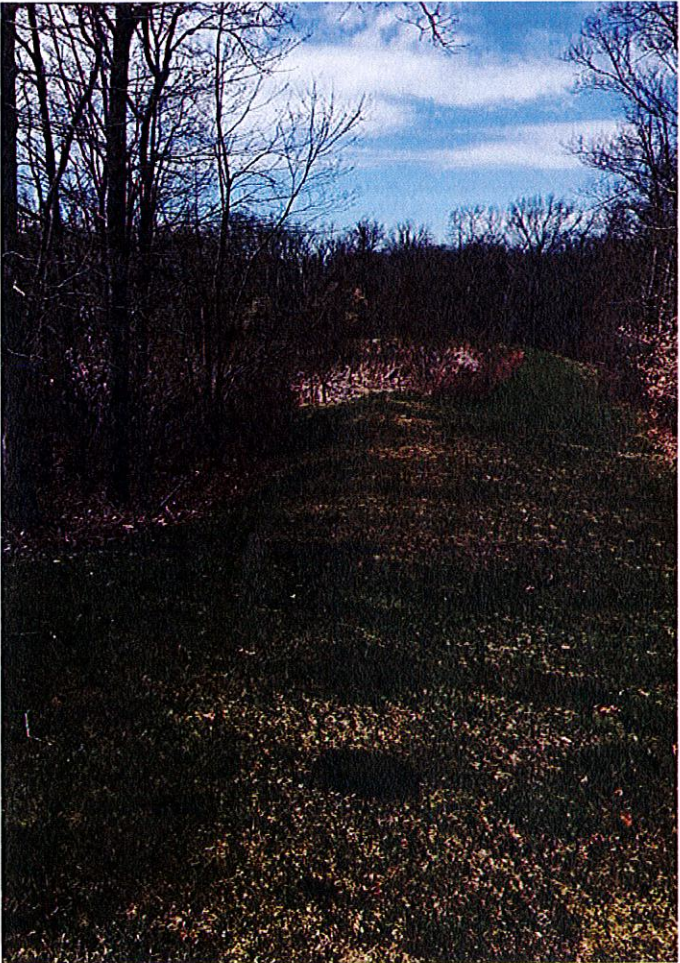
WJR







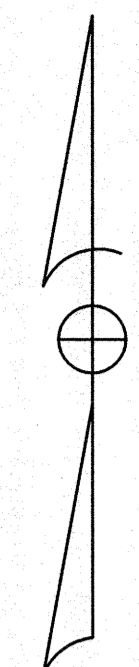
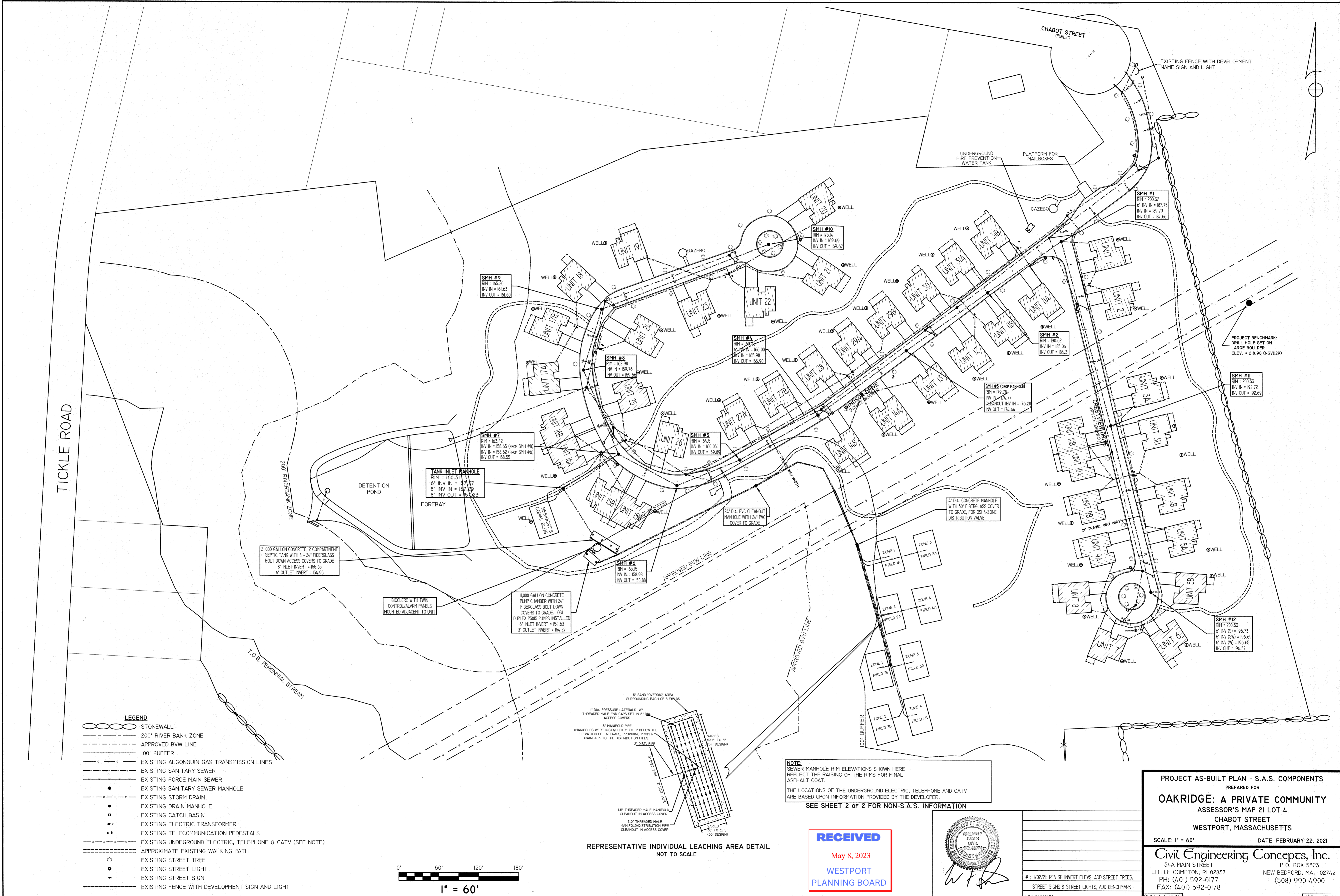










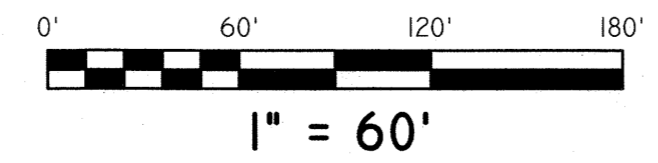


TICKLE ROAD

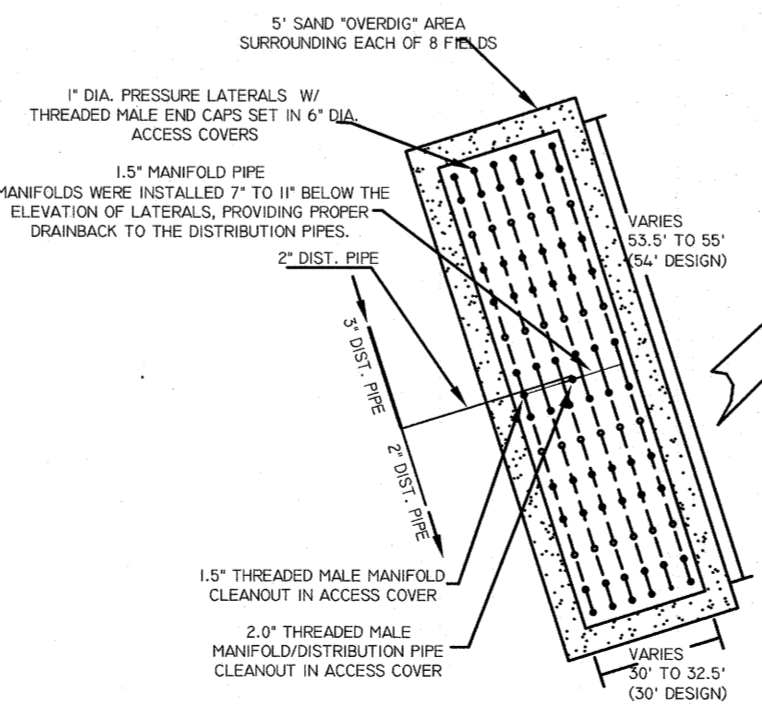
CHABOT STREET (PUBLIC)

LEGEND

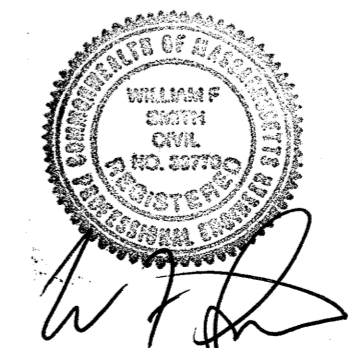
- STONEWALL
- 200' RIVER BANK ZONE
- - - APPROVED BWV LINE
- 100' BUFFER
- EXISTING ALGONQUIN GAS TRANSMISSION LINES
- EXISTING SANITARY SEWER
- EXISTING FORCE MAIN SEWER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN
- EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- EXISTING ELECTRIC TRANSFORMER
- EXISTING TELECOMMUNICATION PEDESTALS
- EXISTING UNDERGROUND ELECTRIC, TELEPHONE & CATV (SEE NOTE)
- APPROXIMATE EXISTING WALKING PATH
- EXISTING STREET TREE
- EXISTING STREET LIGHT
- EXISTING STREET SIGN
- EXISTING FENCE WITH DEVELOPMENT SIGN AND LIGHT



REPRESENTATIVE INDIVIDUAL LEACHING AREA DETAIL
NOT TO SCALE



NOTE:
SEWER MANHOLE RIM ELEVATIONS SHOWN HERE REFLECT THE RAISING OF THE RIMS FOR FINAL ASPHALT COAT.
THE LOCATIONS OF THE UNDERGROUND ELECTRIC, TELEPHONE AND CATV ARE BASED UPON INFORMATION PROVIDED BY THE DEVELOPER.
SEE SHEET 2 OF 2 FOR NON-S.A.S. INFORMATION



NO.	REVISIONS
1	1/10/22: REVISE INVERT ELEV., ADD STREET TREES, STREET SIGNS & STREET LIGHTS, ADD BENCHMARK
2	

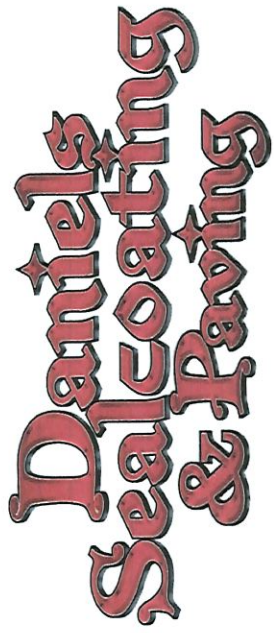
PROJECT AS-BUILT PLAN - S.A.S. COMPONENTS
PREPARED FOR
OAKRIDGE: A PRIVATE COMMUNITY
ASSESSOR'S MAP 21 LOT 4
CHABOT STREET
WESTPORT, MASSACHUSETTS

SCALE: 1" = 60' DATE: FEBRUARY 22, 2021

Civil Engineering Concepts, Inc.
34A MAIN STREET P.O. BOX 5323
LITTLE COMPTON, RI 02857 NEW BEDFORD, MA 02742
PH: (401) 592-0177 FAX: (401) 592-0178
FAX: (401) 592-0178

SHEET 1 OF 2 JOB#: 03-044

ESTIMATE



DATE

April 5th, 2023

RECEIPT NO.

0405-1-23

Mail To

Oakridge Condo's
"Road way to behind club house"
Westport Ma,02790

Jimmy Daniel, Owner
5 Denver Street
Fall River MA, 02721
(508) 617-1467

Daniels.Sealcoating@aol.com

DESCRIPTION	QTY
Excavate & remove some of existing material	
Prep and final grade with processed gravel	(as much needed)
Pave 3 inches of asphalt	

If you have any questions or concerns about this estimate, please contact us

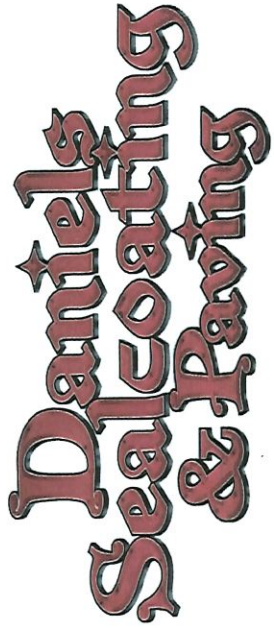
SUBTOTAL 11,000
DISCOUNT

Job Total \$ 11,000.00

Expires 5/05/2023

Estimate is Valid until date stated above

ESTIMATE



DATE

April 5th, 2023

RECEIPT NO.

0405-1-23

Mail To

Jimmy Daniel, Owner
5 Denver Street
Fall River MA, 02721
(508) 617-1467

Daniels.Sealcoating@aol.com

Oakridge Condo's
"Circle round about behind club house"
Westport Ma, 02790

DESCRIPTION	QTY
Excavate & remove some of existing material	
Prep and final grade with processed gravel	(as much needed)
pave 3" inches of asphalt	

If you have any questions or concerns about this estimate, please contact us

SUBTOTAL \$6,000.00
DISCOUNT

Job Total \$ 6,000.00

Expires 5/05/2023

Estimate is Valid until date stated above

Estimate

R Lebreux & Sons Landscaping

372 Adamsville Road
 Westport, MA 02790
 Phone: 508.326.9167

Date	Estimate #
4/13/2023	32

Name / Address
Oak Ridge

Project

Description	Qty	Cost	Total
<p>Oak Ridge Budget Proposal</p> <p>Create walking trail around existing retention pond. Trail will start at building and go around retention pond. Estimated distance, 892 linear feet in total. Excavate 6 feet wide by 6 inches deep. Add sub base (gravel) and top with stone dust. Roll for proper compaction.</p> <p>Infill in 2 locations with est. 18-20 yards of gravel to reduce steepness. Unsuitable material will be removed and disposed of off site.</p> <p>99.5 yards gravel 26 yards of stonedust</p> <p>892 feet @ \$20 a foot including everything machines, labor, materials and disposal of old dirt, trucking extra 2 loads of gravel / stone</p>		<p>17,840.00</p> <p>585.00</p>	<p>17,840.00</p> <p>585.00</p>
<p>Thank You, Josh</p>	<p>Total</p>		<p>\$18,425.00</p>

Customer Signature _____

Housing Production Plan Survey

www.westport-ma.com/home/news/westport-housing-survey



WESTPORT
Housing Production Plan



TOWN OF WESTPORT
Westport Town Hall
816 Main Road, Westport, MA 02790
Zoning Board of Appeals
Tel: 508-636-1041 or Fax: 508-636-1147

April 5, 2023

RECEIVED

APR 11 2023

Bernadette Oliver, Town Clerk
Town of Westport
Westport, MA 02790

WESTPORT
PLANNING BOARD

NOTICE OF DECISION

Dear Ms. Oliver:

The Zoning Board of Appeals hereby submits for filing in your office the following record of the Zoning Board of Appeals proceeding and its decision on the petition of Emily Powers for a Special Permit to construct a one-level, one-bedroom accessory apartment not greater than 897 square feet with deck and sunroom, as allowed by Zoning Bylaw Article 9, Section 9.5.3. The subject property is located at 273 Cornell Road and is shown on Assessor's Map 81, Lot 4C.

RECORD OF PROCEEDINGS AND DECISION

Pursuant to a Notice of Public Hearing that was duly published in the Westport Shorelines on March 2, 2023 and March 9, 2023, and posted in the Town Hall Bulletin Board and mailed to the owners, Petitioners, abutters, owners of land directly opposite on any public or private street or way, abutters to the abutters within three hundred (300) feet of the property line of the Petitioners, the Westport Planning Board, the Dartmouth Planning Board and the Fall River Planning Department, public hearings were held at the Westport Town Hall, 816 Main Road, Westport, MA on Wednesday, March 29, 2023 at 6:30 p.m. on the above-mentioned petition.

Chair Menard explained the procedure that would be followed at this hearing, namely: the Applicant would present her evidence; the Board would ask questions and discuss the information submitted; the Board would open up the hearing to the public for comment or questions; the Board would close the hearing; and the Board would then deliberate and render a determination.

Chair Menard stated that the members voting on this matter would be Gerald Coutinho, Barbara Pontolilo, Ray Elias, Cynthia Kozakiewicz and, himself, Roger Menard. He said

that four (4) out of five (5) members would need to vote in favor of the granting of the Special Permit.

Also present was Ralph Souza, Building Commissioner and Zoning Enforcement Officer.

Chair Menard also noted that the Applicant would be required to comply with the conditions as enumerated in Zoning Bylaw 9.5.3.

Chair Menard stated that the Building Commissioner had recently denied the building permit, stating in pertinent part:

“After review of the building permit application to construct an 897 square foot detached accessory apartment at 273 Cornell Road, the application is denied.

As per Westport Zoning By-laws Article 9.5.3, ‘The Zoning Board of Appeals may issue a Special Permit authorizing the installation and use of a detached accessory apartment in a detached structure on a lot containing a single-family dwelling provided the following conditions are met . . .’”

Curt Dukeshire, 72 Scotland Street, Hingham, MA addressed the Board. He stated that:

1. He is the contractor/builder for this project.
2. The newly-constructed detached apartment will contain just under 900 square feet, namely: 897 square feet.
3. Len Potter is handling the septic system installation and approval by the Board of Health.
4. The new structure will meet all setback requirements.
5. The apartment will have an open floor plan with the living room having vaulted ceilings and many windows to allow for access to natural light.
6. The room considered to be an office has no closet, will be 8' x 12' with an arched doorway.
7. The sunroom is not heated and, therefore, not included in the square footage measurement.
8. He and Ms. Powers have reviewed the requirements under Zoning Bylaw 9.5.3 and agree to comply with them.

Chair Menard said that the Board always looks at spare rooms that can later be converted into a bedroom, which is not allowed by the Bylaw.

Ralph Souza, Building Commissioner and Zoning Enforcement Officer stated that with eliminating the closet and arched doorway, the room is not considered a bedroom.

Emily Powers, Applicant, stated that:

1. She has resided on the property since she was a child.
2. Her parents currently reside in the single-family home on the property.
3. This apartment will be a retirement home for herself and her husband.
4. The septic system has been replaced and includes a denitrification system.
5. Handicap accessibility may be considered, since it is possible that her parents reside in the apartment in the future.
6. The structure will be set back from the road behind an existing one-car garage. There may be a few trees removed, however, she plans to retain as much vegetation as possible.
7. He submitted new plans to the Board dated March 17, 2023 that show the same floor plan with minor changes being made to the outside of the structure. The floor plan and footprint are identical to the plans already submitted.
8. There are three (3) bedrooms in the main house and the new septic system will be expanded to four (4) bedrooms.

Mr. Coutinho suggested that the doorway into the bathroom be widened to accommodate a wheelchair for future purposes.

Chair Menard stated that widening a doorway is not an issue that requires further Zoning Board approval; however, a redesign or enlarging the structure in excess of 897 square feet would be because the Board is making its determination based on the plans that were submitted with the application.

Chair Menard asked if anyone in the audience would like to make a comment and there were none.

Motion to Close the Hearing

Motion was made by Ms. Pontolilo to close the hearing at 6:56 p.m. Seconded by Mr. Elias. The Board voted unanimously in favor.

Discussion by the Board

Mr. Elias said he has no problem with the project, that it is straightforward, complying with all the requirements under the Bylaw.

Mr. Coutinho agreed.

Ms. Pontolilo said that the lot large enough to accommodate the apartment with no setback issues.

Chair Menard said that he drove by the site and the new structure will be a substantial distance from the road. So long as the requirements under Zoning Bylaw 9.5.3 are complied with, he sees not issue with granting the Special Permit.

Decision:

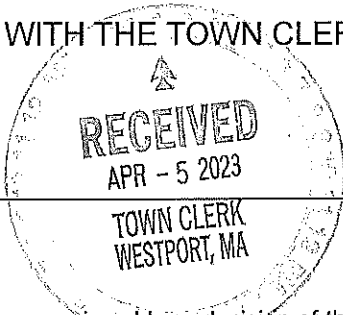
There being no further discussion, Mr. Elias made a motion to **APPROVE** the Special Permit to construct a one-level, one-bedroom accessory apartment not greater than 897 square feet with deck and sunroom, as allowed by Zoning Bylaw Article 9, Section 9.5.3. The subject property is located at 273 Cornell Road with the conditions that the construction of the apartment complies with the plans submitted to the Board dated November 19, 2022 and March 17, 2023, the testimony presented to the Board at this hearing, and a signed Deed Restriction with the Board’s decision.

Mr. Coutinho seconded the motion and the Board voted unanimously in favor.

Chair Menard indicated that there is a 20-day appeal period from the date that the decision is filed with the Town Clerk.

FILED WITH THE TOWN CLERK ON:

ZONING BOARD OF APPEALS



By: *Maria I. Branco*
Maria I. Branco
Zoning Board Administrator

Any person aggrieved by a decision of the Board of Appeals may appeal to the Superior Court Department in which the land concerned is situated or to the Land Court Department, or to the division of the District Court Department within whose jurisdiction the land is situated by bringing an action within twenty (20) days after the decision has been filed in the office of the Town Clerk. Notice of the action with copy of the complaint shall be given to such Town Clerk so as to be received within such twenty (20) days in accordance with M.G.L. Chapter 40A, Section 17.



TOWN OF WESTPORT
Westport Town Hall
816 Main Road, Westport, MA 02790
Zoning Board of Appeals
Tel: 508-636-1041 or Fax 508-636-1147

April 5, 2023

RECEIVED

APR 11 2023

Bernadette Oliver, Town Clerk
Town of Westport
Westport, MA 02790

WESTPORT
PLANNING BOARD

NOTICE OF DECISION

Dear Ms. Oliver:

The Zoning Board of Appeals hereby submits for filing in your office the following record of the Zoning Board of Appeals proceeding and its decision on the petition of David Maher for a finding that the demolition of the existing non-conforming structure and new construction of a single-family dwelling in compliance with setback requirements shall not be substantially more detrimental to the neighborhood than the existing non-conforming use, as mandated by Zoning Bylaw Article 5, Section 5.2.3. The subject property is located at 29 Fairway Drive and is shown on Assessor's Map 88, Lot 199.

RECORD OF PROCEEDING AND DECISION

Pursuant to Notice of Public Hearing that was duly published in the Westport Shorelines on March 9, 2023 and March 16, 2023 and posted on the Town Hall Bulletin Board and mailed to the owners, petitioner, attorney on file, abutters, owners of land directly opposite on any public or private street or way, abutters to the abutters within three hundred feet of the property line of the Petitioner, the Westport Planning Board, the Dartmouth Planning Board and the Fall River Planning Department, a public hearing was held on Wednesday, March 29, 2023 at 6:30 p.m. at the Town Hall.

Chair Menard explained the procedure that would be followed at this hearing, namely: the Applicant would present her evidence; the Board would ask questions and discuss the information submitted; the Board would open up the hearing to the public for comment or questions; the Board would close the hearing; and the Board would then deliberate and render a determination.

Chair Menard stated that the members voting on this matter would be Gerald Coutinho, Barbara Pontolilo, Ray Elias, Cynthia Kozakiewicz and, himself, Roger Menard. He also noted that the approval of a finding requires a simple majority vote of the members -- three (3) members must vote in the affirmative.

Also present was Ralph Souza, Building Commissioner.

Chair Menard read the letter from Ralph Souza, the Building Commissioner/Zoning Enforcement Officer, which prompted the filing of the application for a finding. The letter read, in pertinent part:

"After review of the submitted building permit application . . . it has been determined that the setbacks comply with the Westport Zoning By-Laws Article 7.7, Yard and Set-Back Requirements.

. . .

. . . per the Westport Zoning By-Laws Article 5.2.3, Alteration, 'Pre-existing non-conforming structures or uses may be altered provided there is a finding by the Board of Appeals that such alteration shall not be substantially more detrimental than the existing non-conforming use to the neighborhood.'"

At the outset, Chair Menard explained the standard under which the Board must rule in approving or denying a finding, namely, that the proposed demolition and new construction "shall not be substantially more detrimental than the existing non-conforming use to the neighborhood." A few of those reasons may be safety, traffic, substantial issues, rather than just simply architectural.

Attorney Richard P. Desjardins, 791 Main Road, Westport, MA addressed the Board. He stated that:

1. Fairway Drive (known as Russell Road on the subdivision plan) is located in a subdivision created in 1950 by Stephen Howland.
2. The subdivision abuts the Acoaxet Club.
3. At the time of subdivision development, Mr. Howland placed various private deed restrictions for any homeowner planning to construct a home on the lots, including stricter setback requirements than those mandated by the Zoning Bylaws.
4. There are several reconstructed homes in the subdivision.

Richard Riccio, Field Engineering, 11 Industrial Drive, Mattapoisett, MA stated that:

1. He is the civil engineer for the project.

2. He is currently working on getting the septic system approved by the Board of Health, which includes denitrification system.

3. The new structure will be built basically on the same footprint.

4. The Conservation Commission has issued an Order of Conditions.

5. The property is not in a flood zone.

6. The well is in the front of the lot. Leaching field will be located farther away than the existing field.

7. There is a stormwater management system in place.

Henry Ladd of Howland Company, South Dartmouth, MA stated that:

1. He is the contractor on the project.

2. Garage access will be from the left side.

3. The height of the structure will be 26.8 feet.

4. There will be no other accessory buildings on the property.

Mr. Souza stated that there is no issue with the driveway being on the left side of the house.

Vice-Chair Coutinho asked if each house in the subdivision has its own well and not connected to a singular water source.

Attorney Desjardins said the house has its individual well. He also noted that one of the deed restrictions is that the garage be attached to the main dwelling.

David Maher, Applicant, of 340 Rumstick Road, Barrington, RI said that the house has been used primarily as a summer home since he and his wife purchased it in late 2021. However, once the new construction is completed, he plans to reside there permanently. The subdivision abuts a golf course and a pond.

Chair Menard said that he drove by the site and thought the area was very pleasant.

Chair Menard opened up the meeting to the audience for comments, but there were none.

Motion to Close the Hearing

Hearing no further comments, Mr. Elias made a motion to close the hearing. Ms. Pontolilo seconded the motion and the Board voted unanimously to close the hearing at 7:20 p.m.

Discussion:

Chair Menard said that he believed the project to be straightforward and had no problem with it.

Ms. Kozkiewicz stated that the new structure will be basically on the same footprint.

Ms. Pontolilo noted that the trend in town is for houses to be upgraded.

Vice-Chair Coutinho believed the original deed restrictions were good ones.

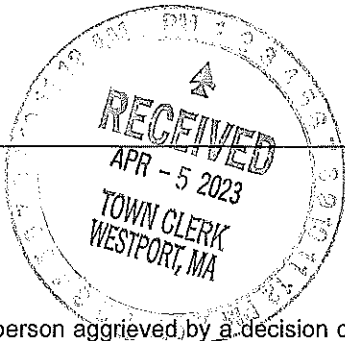
Decision:

Motion made by Chair Menard to approve the finding that the demolition of the existing non-conforming structure and new construction of a single-family dwelling in compliance with setback requirements shall not be substantially more detrimental to the neighborhood than the existing non-conforming use, as mandated by Zoning Bylaw Article 5, Section 5.2.3. The subject property is located at 29 Fairway Drive, Westport, MA and is shown on Assessor’s Map 88, Lot 199, with the condition that the project be constructed pursuant to the plans of Exterior Elevations submitted to the Board Patrick Ahearn Architect dated January 27, 2023, the plans submitted by Field Engineering Co., Inc. dated February 21, 2023, and Architectural Plans for “The Maher Residence” dated March 6, 2023, as well as the testimony provided to the Board this evening. Mr. Elias seconded the motion and the Board voted unanimously to grant the finding.

Chair Menard advised of the 20-day appeal period from the date of filing the decision with the Town Clerk.

FILED WITH THE TOWN CLERK ON:

ZONING BOARD OF APPEALS



By: *Maria I. Branco*
Maria I. Branco
Zoning Board Administrator

Any person aggrieved by a decision of the Board of Appeals may appeal to the Superior Court Department in which the land concerned is situated or to the Land Court Department, or to the division of the District Court Department within whose jurisdiction the land is situated by bringing an action within twenty (20) days after the decision has been filed in the office of the Town Clerk. Notice of the action with copy of the complaint shall be given to such Town Clerk so as to be received within such twenty (20) days in accordance with M.G.L. Chapter 40A, Section 17.



**PLANNING BOARD
MEETING MINUTES**

Date/time of Meeting: April 4, 2023, at 6:00 p.m.

Place: Town Hall Annex, 856 Main Road

Call to order: The regular meeting of the Westport Planning Board was called to order at 6:02 PM by Chairman, Jim Whitin.

ATTENDEES

Chairman Jim Whitin, and members John Bullard, Manuel Soares, Mark L. Schmid, Town Planner, Michael Burris, and Assistant Town Planner, Amy Messier.

ABSENT

Vice-Chair - Robert Daylor

Chair's Announcement – Under M.G.L. Chapter 30A, section 20(f) – The meeting was recorded.

1. Administrative Items

- a. Approval Not Required (ANR) Buzzards Bay Coalition (23-004A)** Request by the applicant for endorsement of a Plan of Land showing 2 Lots for land located at 559 Main Road, Map 69 Lot 12.

The discussion of 1a was postponed to 6:15 p.m. in order to coincide with the Buzzards Bay Coalition Public Hearing.

Bullard announced that he would recuse himself from all discussion and voting because he is on the Buzzards Bay Coalition Board.

Present: Attorney MacKenzie Long on behalf of Buzzards Bay Coalition and Stephanie Cormier.

Attorney Long gave a brief overview of the ANR. He noted that according to the yield plan, four lots could be built but the project would only consist of two lots.

Motion

Schmid moved to approve the endorsement of the plan entitled “A.P. 69, Lot 12, 0 Main Road, Westport, Massachusetts, for Buzzards Bay Coalition, Inc., 114 Front Street, New Bedford, MA, Assessor’s Map 69 Lot 12” because the plan complies with the provisions of M.G.L. Ch. 41 Section 81P. Seconded by Soares. 3-0-1

- b. Prestige Auto – 50 Forge Road (19-008SPA)** Request for Certificate of Occupancy.

Present: Manuel Sarmiento was present.

Ms. Messier mentioned that an As-Built was submitted. S.W. Cole did a site visit and submitted a review of the items that were not completed. Ms. Messier recommended a temporary Certificate of Occupancy be issued until a revised As-Built has been submitted with all the items addressed, then a final CO could be issued.

Motion to Approve

Bullard moved to recommend to the Building Inspector to issue a 90-day temporary Certificate of Occupancy pending approval of the revised as-built, following which a final Certificate of Occupancy can be requested from Prestige Auto Mart Inc. Seconded by Schmid. 4-0-0

- c. **Salty Breeze Inc. (23-011PAC)** Request by the applicant to discuss the development of land for a recreational marijuana establishment.

Present: Sean Leach – Southeast Engineers; Brian Carney, representing Salty Breeze;

Leach gave a brief overview of the project.

Whitin asked the type of facility it would be. Leach confirmed it would only be a retail facility.

Bullard asked how the business differs from the Coastal Healing Marijuana facility. Carney mentioned that the Salty Breeze business product will not be grown in-house, but rather sourced from another supplier.

2. 6:15 p.m. Public Hearing

- a. **Buzzards Bay Coalition (23-005SP-FF)** Request by the applicant to consider the Special Permit, Flexible Frontage application for Buzzards Bay Coalition for property located at 559 Main Road, Assessors Map 69 Lot 12, Westport, MA.

Bullard recused himself from all discussion and voting because he is on the Buzzards Bay Coalition Board.

Motion

Schmid moved to close the Special Permit Flexible Frontage public hearing. Seconded by Soares with Whitin, Schmid, and Soares in favor. Bullard abstained.

Motion

Schmid moved to approve the Special Permit application for Buzzards Bay Coalition for property located at 559 Main Road, Westport, MA 02790, Assessors Map 69 Lot 12 in accordance with Westport Zoning By-Law, Section 8.6 Flexible Frontage for Reduced Density subject to the findings and conditions as stated. Seconded by Soares with Whitin, Schmid, and Soares in favor. Bullard abstained.

3. Assistant/Planners report

Burris read and reviewed his report with the Board.

- 2023 Annual Town Meeting Zoning Amendments
 - Legal counsel had no further comments. No revisions to the warrant articles were submitted to the Town Administrator last month.
 - Will revise the presentation drafted for the public hearing and circulate it to the Board.
- Congressional Directed Spending Requests
 - Route 6 Trunk Sewer and Water
 - Submitted a \$5.5 million appropriations request with Representative Keating, and Senator Warren and Markey's offices.
 - Funds were requested for the initial water and sewer trunk from Fall River to Route 88.
 - No definitive timetable is available. Will update you once we hear anything.
 - Hix Bridge Ecosystem Restoration
 - Submitted a \$4 million appropriations request with Representative Keating's office.
 - Removal of stone debris and demolished remains of former bridge piers around the existing bridge openings to improve the tidal exchange up and downstream from the bridge's location.

- SRPEDD Updates
 - Housing Production Plan Survey
 - To assist with updating our Housing Production Plan, SRPEDD assembled a survey to see what kinds of housing residents would like to see built in Westport. The survey can be accessed at <https://www.surveymonkey.com/r/westport-housing>
 - Open Space Residential Development Meeting
 - Provided their staff with an overview of Westport’s experiences with OSRD developments.
 - SRPEDD is working on developing a best practices model for open-space residential development.
 - Southeastern MA Priority Development & Protection Areas
 - SRPEDD is partnering with MBTA to determine where future investments will have the most significant impact.
 - Where are local community priority development and conservation areas that intersect with priorities from a regional and Commonwealth-wide perspective?
 - Coastal Resilience Grant
 - SRPEDD is offering assistance with grant applications related to environmental issues.
 - Reached out for assistance with an application to the Coastal Resilience Grant to apply for grant funds to assist with the implementation of the East Beach Vulnerability Plan.
- Main Road Streetscape Plan
 - Commonwealth Places Grant
 - Based on the Main Road Streetscape and Placemaking OneStop EOI, we were encouraged to apply for this grant as well. Provides funds for Placemaking activities, either planning or implementation. A Placemaking project analyzes how people use and feel about public spaces and uses that data to make improvements or add amenities. For example, public art is a type of placemaking project.
 - Bike/Walking Path Committee Meeting
 - Met with the committee on 3/16 to provide an overview of the Main Road project.
 - Committee was supportive of the project and finds that the time should be right to get more pedestrian infrastructure incorporated into the corridor.
 - Two potential volunteers on this committee to be on the project workgroup, one of whom was the volunteer engineer for the sidewalk project 10 years ago.
 - Preliminary Survey
 - Drafted a survey to get preliminary input on streetscape and placemaking amenities within the corridor.
 - Distributed to residents, businesses, and property owners in the corridor. Two potential volunteers for the working group, 1 who lives in the corridor and 1 who owns a business.
 - Commission on Disabilities Meeting
 - Met with the commission on 3/27 to discuss the Housing Production Plan survey and provide an overview of the Main Road project.
 - Received commitment to have a representative from the commission on the Main Road working group.
 - HPP: consider adding the following to the ILF bylaw:
 - Encourage the provision of accessibility features that go beyond basic ADU requirements, such as lower cabinets, countertops, sinks, etc., kitchen counters that permit forward approach to accommodate a wheelchair underneath, appliances with lower knobs, and so on.
 - Require these features in a certain percentage of multi-unit developments. e.g. 5% of dwelling units must include the full range of accommodations.
 - Require developers to provide build these features upon request from the buyer in new single-family builds.
- Route 6 Rezoning

- Meeting with BSC Group on 3/29. Discussed how the regulatory framework will work. For example, how land uses will be classified, siting of structures, parking accommodations, and so on.
- Next meeting will focus on where housing, commercial, and industrial uses should be concentrated.
- Division of Ecological Restoration Culvert Replacement Grant
 - Collaborating with the Buzzards Bay Coalition and the Westport Land Trust to apply for grant \$200,000 in grant funds to complete field data collection and conceptual designs on stream crossings projects. Buzzards Bay is prepared the application.
 - Three culverts in areas that have high ecological value and are good candidates for the grant program:
 - Drift Road at Lyons Brook
 - Drift Road at Snell Creek
 - Cornell Road at Angeline Brook

Assistant Planners Report

Prestige Auto – Temporary Certificate of Occupancy – 19-008SPA:

S.W. Cole performed a site visit early last week to inspect the site compared to the As-Built submitted. According to the report, the project was constructed in general conformance to the plan with a few items outstanding, which include the following;

- Finish paving, no parking pavement markings, no parking space markings
- Handicap space and appropriate markings and bollard not installed
- Monolithic cape cod berm along pavement edge along entrance roadway and along pavement edge that abuts crushed stone parking areas not installed
- Some additional riprap at flared ends could be installed to reinforce any potential washing out
- The stop sign at end of the entrance roadway at Forge Road and the pylon sign has not been installed
- A plan needs to depict entry from Forge Road and two decorative masonry gate posts with a manual gate
- The plan needs to depict exposed PVC conduit along the entrance of the roadway edge on the east side

Recommendation: The Planning Board vote to recommend to the Building Inspector that a temporary C.O. be issued. Once a revised As-Built is submitted at a later date addressing the items above, the applicant can then request a Final C.O.

Walters Way:

A demand letter is to be drafted to send to the developer making him aware that the remainder of the work on the roadway needs to be completed within 45 days. After the 45 days have elapsed, Ms. Messier will take the next steps necessary (same as Maya Way), there is \$24,000 in surety.

Updates:

Harbor Water Study: Received an update from Weston & Sampson this evening at 4:43 PM, the memo will be going out tomorrow.

Maya Way: Letter sent to the BOS requesting the authorization for the appropriation of funds for the expenditure of surety for the completion of Maya Way roadway. Once the BOS approves this- a letter will be sent to the homeowners on Maya Way explaining that the Highway Department will be making improvements to the private roadway with the \$87,000 in surety funds.

Salt Marshes/ Ownership: Reached out to the Assessors about maps from 100-150 years ago to help determine salt marsh ownership, also reached out to the Historical Commission and requested feedback and any maps or information they may have. The Assessor's office stated that they only have maps dating back to the 1960s, and I'm currently waiting on a response from the Historical Commission.

Westport Sand & Solar (536 Old County Road): Reached out for an update and to hopefully schedule a pre-construction meeting shortly.

Rte. 88/ Sullivan Drive (Soltage LLC): Reached out for an update and to schedule a pre-construction meeting shortly. Update provided earlier this evening by AES Corp: solar project construction has continued to commence under the building and electrical permits that were issued on 12/22/22. The construction crew has continued to receive materials and has completed the removal of brush and trees to make way for construction traffic and future works. The construction crew has been working on the civil components of the site including grading and roadways. The team continues to monitor and follow the stormwater protection measures.

An email was sent in response to the update to ensure that a topographic survey and confirmation report are submitted to the office and the peer consultant before the installation of the solar panels.

4. Minutes

March 7, 2023

Motion

Bullard moved to approve the March 7, 2023 minutes as written. Seconded by Schmid. 4-0-0

5. Short/Long-term Planning Discussions

ADJOURNMENT

The Board members unanimously adjourned at 7:50 p.m.

Respectfully submitted,



Nadine Castro, Assistant Town Planner II

NOTE: *Agenda is subject to change*

NEXT MEETINGS:

PLANNING BOARD: April 18, 2023, @ 6:00 P.M.

WORK SESSION: ?