

Planning Board Meeting

June 27, 2023 at 6:00 p.m.





Planning Board

James Whitin
Robert Daylor
John K. Bullard
Mark L. Schmid
Manuel Soares

AGENDA

Tuesday, June 27, 2023

Call to order 6:00 p.m.

1) Administrative Items

- a) **Bentley Estates II (15-009C)** (*continued from May 16, 2023*) – Request to eliminate the sidewalk in phase II.
- b) SRPEDD presentation – Westport priority development/Conservation areas
- c) **Medeiros Farm (07-002C)** Close out and release the Consultant Review Fees (\$749.60 + interest) and Surety balance (\$85,132.60 + interest).
- d) **0 Gifford Road (23-013B-RRL)** Endorse Form B-1
- e) **Inheritance Lane (23-010C-RRL)** Endorse Form F-RRL Covenant and Form C-2
- f) July 25, 2023 Planning Board Meeting – Consider canceling/moving meeting date due to conflict with Special Election Proposition 2 1/2 Override vote.

2) Assistant/Planner's report

- a) Planner's report
 - i) Coastal Resilience Grant applications
 - ii) Buzzards Bay National Estuaries Program applications
 - iii) Resilient Westport Plan

3) Correspondence

- a) ~~Zoning Board of Appeals notice~~
- b) Chapter 91 License (23-019CH91) – 1702-E Drift Road – Mooney
- c) Chapter 91 License (23-020CH91) – 2015 Main Road – Branca
- d) Chapter 91 License (23-021CH91) – 21 Valentine Lane - Christiano

4) Minutes

June 13, 2023

5) Invoices

W.B. Mason – Folders - \$25.16

6) Short/Long-term Planning Discussions

- a) Discussion with Roger Menard of the Zoning Board of Appeals regarding short-term rental bylaws
- b) Westport River Days - Climate Resilience Committee public engagement

ADJOURNMENT

NOTE: Agenda is subject to change

NEXT MEETINGS:

Planning Board: *July 11, 2023 at 6:00 p.m.*
Work Session: *?*



Bread and Butter

Edgely Dr

Gabriel Ln

Highland Ave

Berrley Ln

Highland Ave

Motta Dr

Highland Ave

Dearfield

Highland Ave

6

Idola St

Down St

Mott St

Jigg's St

RECEIVED

March 16, 2023

WESTPORT
PLANNING BOARD

March 12, 2023

***GTA Engineering
818 Montgomery Street
Fall River, MA 02720***

Cell: (774) 301-1710 E-Mail: GEORGE4220@YAHOO.COM Fax: (508) 819-4949

Westport Planning Board
856 Main Road
Westport, MA 02790

Reference: Bentley Estates II, Westport, MA 02790 (15-009C)
Subject: Waiving Sidewalk Construction
Owner/Developer: Robert Kfoury

Dear Sir,

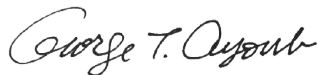
This is a request to the Planning Board to waive the construction of the proposed sidewalk within the limits of Bentley Estates II – second phase, Westport, MA. It is noted that a sidewalk at this location is not needed, and some abutting property owners are not in favor of its construction and its future snow removal. We prefer keeping this picturesque scenery visually charming as other recently constructed subdivisions in the Town of Westport.

Also, it is noted that phase one of the previously completed abutting subdivision of Bentley Estates (Bentley Lane) did not have a sidewalk within its limits.

Given that this subdivision is situated off a main roadway that has no sidewalk, thereby the vehicular traffic count is at a minimum; that will allow pedestrians to walk on the paved roadway surface at their own perils. Also, by eliminating the construction of new sidewalk, it will result in reducing future cost of its upkeep and maintenance in a remote area of the Town.

Your cooperation and assistance in this matter is greatly appreciated.

Sincerely,



George Ayoub, PE, LSIT

DEFINITIVE SUBDIVISION PLAN -BENTLEY ESTATES II - IN WESTPORT, MASSACHUSETTS

Town of Westport
Planning Board
856 Main Road
Westport, MA 02790
www.westport-ma.gov
Tel: (508) 636-1037
planning@westport-ma.gov
Fax: (508) 636-1031
Form: C-1
Application No. 15-009-C-SP/H
Date: May 31, 2015

CERTIFICATE OF APPROVAL OF A DEFINITIVE PLAN

TOWN CLERK
TOWN OF WESTPORT
818 MAIN ROAD
WESTPORT, MA 02790

It is hereby certified by the Planning Board of the Town of Westport, Massachusetts, that at a duly called and properly posted meeting of said Planning Board, held on May 17, 2016 it was voted to approve a definitive subdivision plan entitled "Bentley Estates II Definitive Plan Map 5, Lots 16, 18, 50-68 in Westport, Massachusetts prepared for Robert Kfoury by SITEC Inc. dated September 1, 2014 and revised through May 25, 2016 submitted by Robert Kfoury, Trustee, KRG Realty Trust and owned by Warren M. Messier Map 5, Lots 50-68; Donald C. & Russell C. Whalon, Map 5 Lot 18; Robert G. Kfoury, Trustee, KRG Realty Trust Map 5, Lot 16, originally filed with the Town Clerk on August 4, 2015 concerning the property located at Assessor's Map 5, Lots 16, 18, 50-68 located at the terminus of Bentley Lane showing 20 proposed residential lots, with waivers and conditions attached hereto and incorporated herein.

Waivers

- Section II (B.1.d), Waive cost estimate.
- Section IV (A.1.), To waive the requirement for 25' corners at street line intersections.
- Section V (B.2), To reduce the travelled way width to 22' for Whalon Way.
- Section V(C), Waive 20% stormwater reduction requirement.

Conditions

- Homeowners Association: As a condition of approval of this subdivision, prior to endorsement of the definitive plan the Applicant shall create and properly fund a Homeowners Association. All purchasers of land within the subdivision shall be required to belong to the Homeowners Association, including property owners of land on the portion of Road formerly known as Hemlock Street.
- The Homeowners Association shall be responsible for the maintenance, repairs and plowing of the subdivision roadways, unless accepted by the Town.
- The Homeowners Association shall maintain permanent ownership of any drainage basins or ponds in the subdivision, including all pipes and other appurtenant devices, and shall have the permanent responsibility of maintaining, repairing and replacing said drainage systems, as necessary, unless accepted by the Town.
- The Homeowners Association documents shall be reviewed and approved by the Planning Board, in consultation with Town Counsel (at the expense of the applicant), and the Homeowners Association shall have an initial fund that is deemed satisfactory to the Planning Board, in consultation with the Planning Board's technical consultant.
- The Homeowners Association shall be responsible for the permanent maintenance of the center island in Whalon Way.
- Road Maintenance and Snow Removal: Applicant shall be responsible for periodic maintenance and snow removal until such time a properly funded Homeowners Association is created and is properly functioning.
- Fire Protection: Access to/from the fire protection tank must be maintained at all times for Fire Department use in the event of an emergency.
- Roof run-off recharge systems are required for each dwelling.
- Construction work on the subdivision road and utilities shall only be done between the hours of 7:00 a.m. and 6:00 p.m., Monday - Saturday.
- The applicant shall provide the Town legal access to the proposed stormwater and fire protection systems.
- Maximum clearing area per lot shall be limited to 40,000 s.f. excluding drainage areas or less as per the individual lots on the approved plan.
- Add the following notes to the Plan.

a. "Subject to a Special Permit pursuant to the Inclusionary Housing By-Law, Article 13, granted on May 17, 2016, 2016, by the Westport Planning Board and Recorded in the Bristol County Southern District Registry of Deeds in Book Page

b. "No dwelling shall be built on any lot without first securing from the Board of Health a permit for an approved "Tide-V" compliant Soil Absorption System septic disposal system"

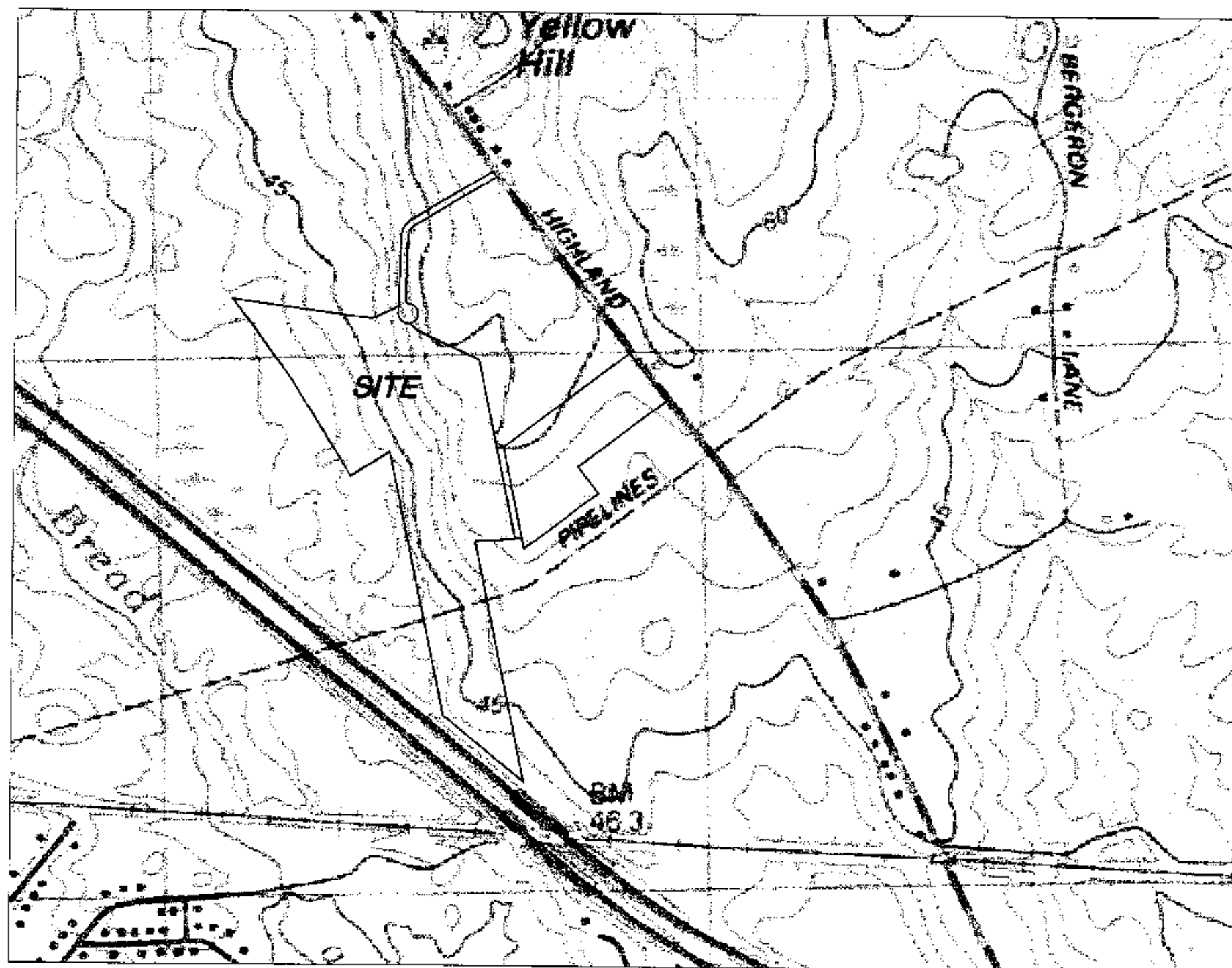
c. Areas identified as "Restricted Area" have been identified as part of the filing with the MA Division of Fisheries & Wildlife pursuant to 321 CMR 10.18. Any changes to the proposed project or any additional work beyond that shown on the site plans may require an additional filing with the Division pursuant to the Massachusetts Endangered Species Act.

9. The cul-de-sac on Whalon Way shall have a pervious center island with a radius of 25'. The island shall be drivable and shall support H-20 loading. The Planning Board shall approve the design of the vegetative pervious center prior to endorsement.

Endorsement of the approval is conditional upon the provision of a performance guarantee, duly executed and approved, to be noted on the plan and recorded with the Bristol County Southern District Registry of Deeds, said form of guarantee may be varied from time to time by the applicant subject to agreement on the adequacy and amount of said guarantee by the board.

NOTE TO TOWN CLERK: The Planning board should be notified immediately of any appeal to the superior court on this subdivision approval made within the statutory twenty (20) day appeal period.

If no appeal is filed with your office the Planning Board should be notified at the end of the twenty (20) day appeal period in order that the plan(s) may be endorsed.



LOCUS MAP

PLAN INDEX

SHEET	COVER	CONSTRUCTION DRAWINGS
LOTING PLANS (RECORDABLE PLANS)		
SHEET 1 OF 17	COVER	
SHEET 2 OF 17	OVERALL DEFINITIVE SUBDIVISION	SHEET 8 OF 17
SHEET 3 OF 17	DEFINITIVE SUBDIVISION	SHEET 9 OF 17
SHEET 4 OF 17	DEFINITIVE SUBDIVISION	SHEET 10 OF 17
SHEET 5 OF 17	DEFINITIVE SUBDIVISION	SHEET 11 OF 17
SHEET 6 OF 17	DEFINITIVE SUBDIVISION	SHEET 12 OF 17
SHEET 7 OF 17	DEFINITIVE SUBDIVISION	SHEET 13 OF 17
		SHEET 14 OF 17
		SHEET 15 OF 17
		SHEET 16 OF 17
		SHEET 17 OF 17
		OVERALL GRADING PLAN
		ROADWAY GRADING PLAN
		ROADWAY GRADING PLAN
		ROADWAY GRADING PLAN
		ROADWAY GRADING PLAN
		ROADWAY PROFILE
		ROADWAY PROFILE
		CONSTRUCTION DETAILS
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SHEET 1

NOTES:

- 6" x 6" CONCRETE BOUNDS SHALL BE SET ON EXTERIOR STREET LINES AT ALL ANGLE POINTS, INTERSECTIONS AND AT ALL CURVES.
- ALL LOTS WILL BE SERVED BY INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND PRIVATE DRINKING WATER WELLS.
- ALL LOTS REQUIRE THAT ROOF RUNOFF SHALL BE COLLECTED VIA DOWNSPOUTS AND RECHARGED INTO THE GROUND WITH ROOF DRAIN DRYWELLS.
- ALL WETLAND RESOURCE AREAS SHOWN HAVE BEEN APPROVED THROUGH AN ORDER OF RESOURCE AREA DELINEATION ISSUED BY THE WESTPORT CONSERVATION COMMISSION ON 11-13-14. DEP FILE NUMBER 80-2146

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY TO TOWN OF WESTPORT DEPARTMENT OF PUBLIC WORKS AND PLANNING BOARD CONSTRUCTION STANDARDS.
- ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
- PERMANENT STREET SIGNS SHALL BE INSTALLED AS REQUIRED.
- TELEPHONE, ELECTRIC, AND CABLE TV UTILITIES SHALL BE INSTALLED BELOW GROUND IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY STANDARDS.
- OPENINGS FOR DRIVEWAYS SHALL BE GRADED TO PREVENT NORMAL RUN-OFF WATER FROM ENTERING THE DRIVEWAY OUTSIDE OF THE STREET RIGHT-OF-WAY. ALL DRIVEWAY APRONS SHALL BE PAVED.
- ALL DRAINAGE SWALES SHALL BE LOAM AND SEEDED IN ORDER TO PROVIDE STABLE VEGETATIVE COVER AND SHALL HAVE A MINIMUM BASE WIDTH OF AT LEAST TWICE THE DIAMETER OF THE DRAINAGE PIPE.
- AN ASBUILT SET OF PLANS WILL BE PROVIDED TO PLANNING BOARD SHOWING ALL ROAD WORK AND THE LOCATION OF ALL UTILITIES. A LETTER FROM A REGISTERED LAND SURVEYOR WILL BE PROVIDED STATING THAT ALL BOUNDS HAVE BEEN SET ACCURATELY AND IN ACCORDANCE WITH THE APPROVED PLANS.
- THE PROPOSED STREETS SHOWN ON THIS PLAN ARE PRIVATE STREETS AND SHALL REMAIN PRIVATE UNTIL SUCH TIME THE STREETS ARE ACCEPTED BY A MAJORITY VOTE AT AN ANNUAL TOWN MEETING. WHILE MOST COMPLETED STREETS BUILT TO TOWN STANDARDS ARE ACCEPTED, IT STILL REQUIRES AN AFFIRMATIVE VOTE AT AT TOWN MEETING AND ACCEPTANCE IS NOT GUARANTEED. MAINTENANCE AND CARE OF PRIVATE STREETS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR HOMEOWNERS.

PLANNING BOARD

THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR RESCINDED, NOR THE PLAN CHANGED.

TOWN OF WESTPORT PLANNING BOARD
APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
CHAIRMAN <i>[Signature]</i>	PPEL DATE FILED: AUGUST 4, 2015
VICED CHAIRMAN <i>[Signature]</i>	DEF. DATE FILED: SEPTEMBER 22, 2015
MEMBER <i>[Signature]</i>	PUBLIC HEARING MAY 17, 2015
DATE: 8/23/16	DEF. PLAN APPROVED 8/23/16
	DEF. PLAN ENDORSED

SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

WAIVERS:

- SEC III (B)d TO WAIVE THE REQUIRED COST ESTIMATE.
- SEC IV(A) 1. TO WAIVE THE REQUIREMENT FOR 25' CORNERS AT STREET LINE INTERSECTIONS.
- SEC V(C) TO WAIVE THE 20% STORMWATER REDUCTION REQUIREMENT FOR PEAK FLOW RATES AT THE SUBDIVISION BOUNDARY. NO INCREASE IN STORMWATER PEAK FLOW IS ALLOWED AT THE SUBDIVISION BOUNDARY.
- SEC IV(A.2) TO WAIVE THE REQUIREMENTS OF TABLE "A" REQUIRING 26' OF PAVEMENT WIDTH (22' PROPOSED IN WHALON WAY)

PARCEL SUMMARY

MAP 5 LOT 16
MAP 5 LOT 18
MAP 5 LOT 50-68

OWNER:

MAP 5 LOT 16
OWNER: ROBERT G. KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

MAP 5 LOT 18
OWNER: ROBERT G. KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

MAP 5 LOT 50-68
OWNER: WARREN M. MESSIER
180 TICKLE ROAD
WESTPORT, MA

DEED REFERENCE:

DEED RECORDED IN BRISTOL COUNTY SOUTH REGISTRY OF DEEDS
IN DEED BOOK 5179 PAGE 235.
IN DEED BOOK 11756 PAGE 21.
IN DEED BOOK 1947 PAGE 632.

ZONE - RESIDENCE/AGRICULTURE

MIN. AREA - 60,000 SQ.FT.
MIN. UPLAND AREA - 30,000 SQ.FT.
MIN. FRONTAGE - 150'
SETBACKS: FRONT - 25'
SIDE - 10'
REAR - 6'

0 500' 1000' 1500' 2000'

"BENTLEY ESTATES II"
DEFINITIVE SUBDIVISION
MAP 5 LOT 16, 18, 50-68
IN
WESTPORT, MA

PREPARED FOR
ROBERT KFOURY
SCALE: 1"=500' SEPTEMBER 1, 2014
REVISED: 2-8-16, 5-26-16

SITEC
Civil and Environmental Engineering
Land Use Planning

SITEC, Inc.
448 Faunce Corner Road
North Dartmouth, MA 02747
(508) 998-2125
FAX (508) 998-7554

1. 6"X 6" CONCRETE BOUNDS SHALL BE SET ON EXTERIOR STREET LINES AT ALL ANGLE POINTS, INTERSECTIONS AND AT ALL CURVES.
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OR RESCINDED, NOR THE PLAN CHANGED

Sam H. Helt 8/15/17

- SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 7/25/16 RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS
PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED
AND RECORDED ON June 3, 2016 AT THIS OFFICE,
AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE
TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF
RECORDING OF SAID NOTICE.

Martine M. Lanson 8/19/2016
TOWN CLERK, WESTPORT, MA

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Suzanne

THE RULES AND REGULATIONS
DEED.

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2. SEC IV(A) i. TO WAIVE THE REQUIREMENT FOR 25' CORNERS AT STREET LINE INTERSECTIONS.
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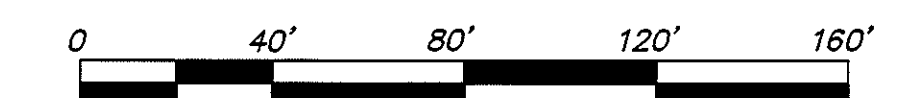
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DEFINITIVE SUBDIVISION
MAP 5 LOT 16, 18, 50-68
IN
WESTPORT, MA

PREPARED FOR

ROBERT KFOURY

SCALE: 1"=40' JANUARY 1, 2015
REVISED: 2-8-16, 4-7-16, 5-26-16

PREPARED BY

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Jan. P. Kfoury 8/15/17

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APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS

CHAIRMAN <i>John P. Kfoury</i>	PREL. DATE FILED: AUGUST 4, 2015
VIC. CHAIRMAN <i>John P. Kfoury</i>	DEF. DATE FILED: SEPTEMBER 22, 2015
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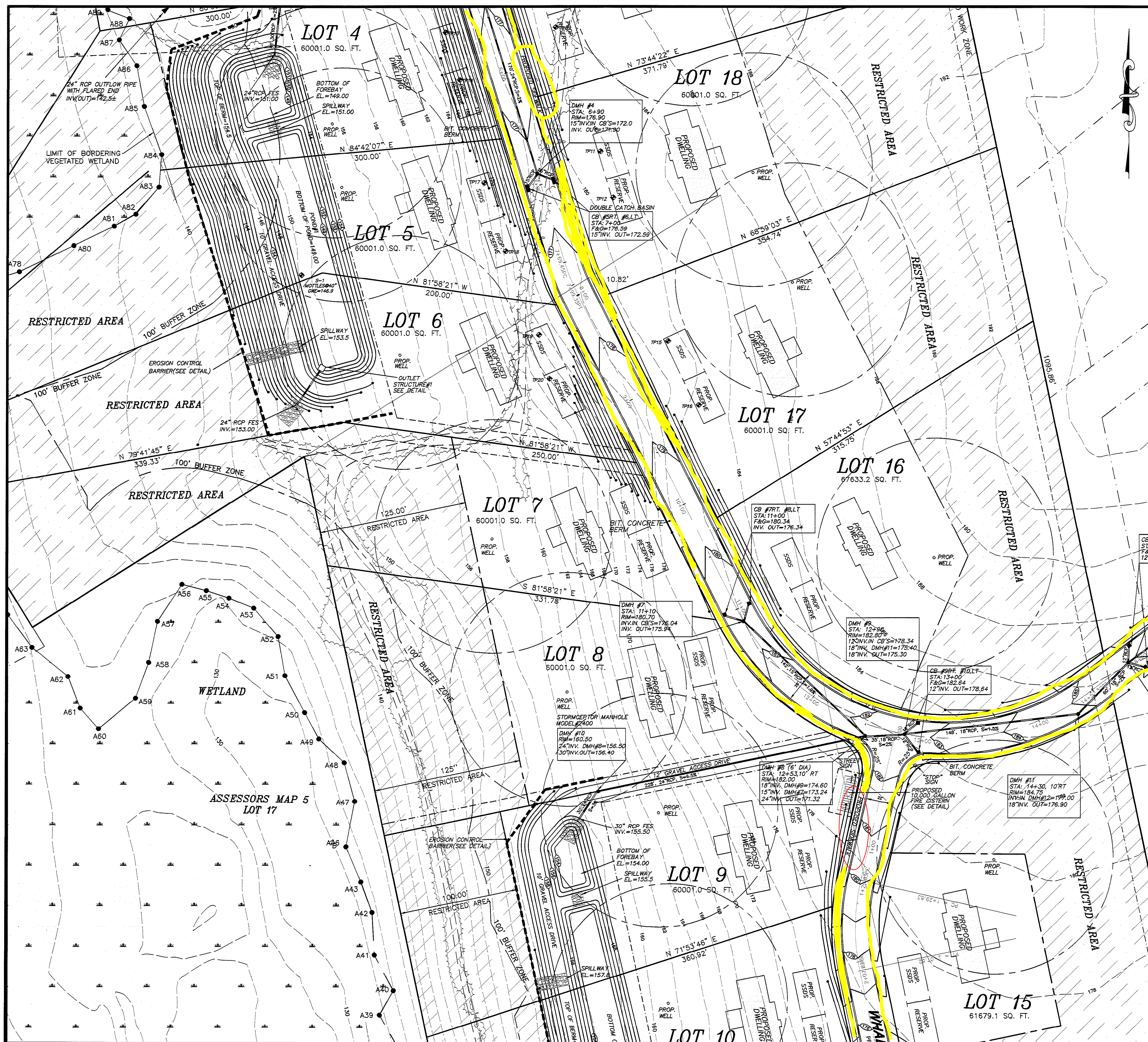
ROBERT KFOURY

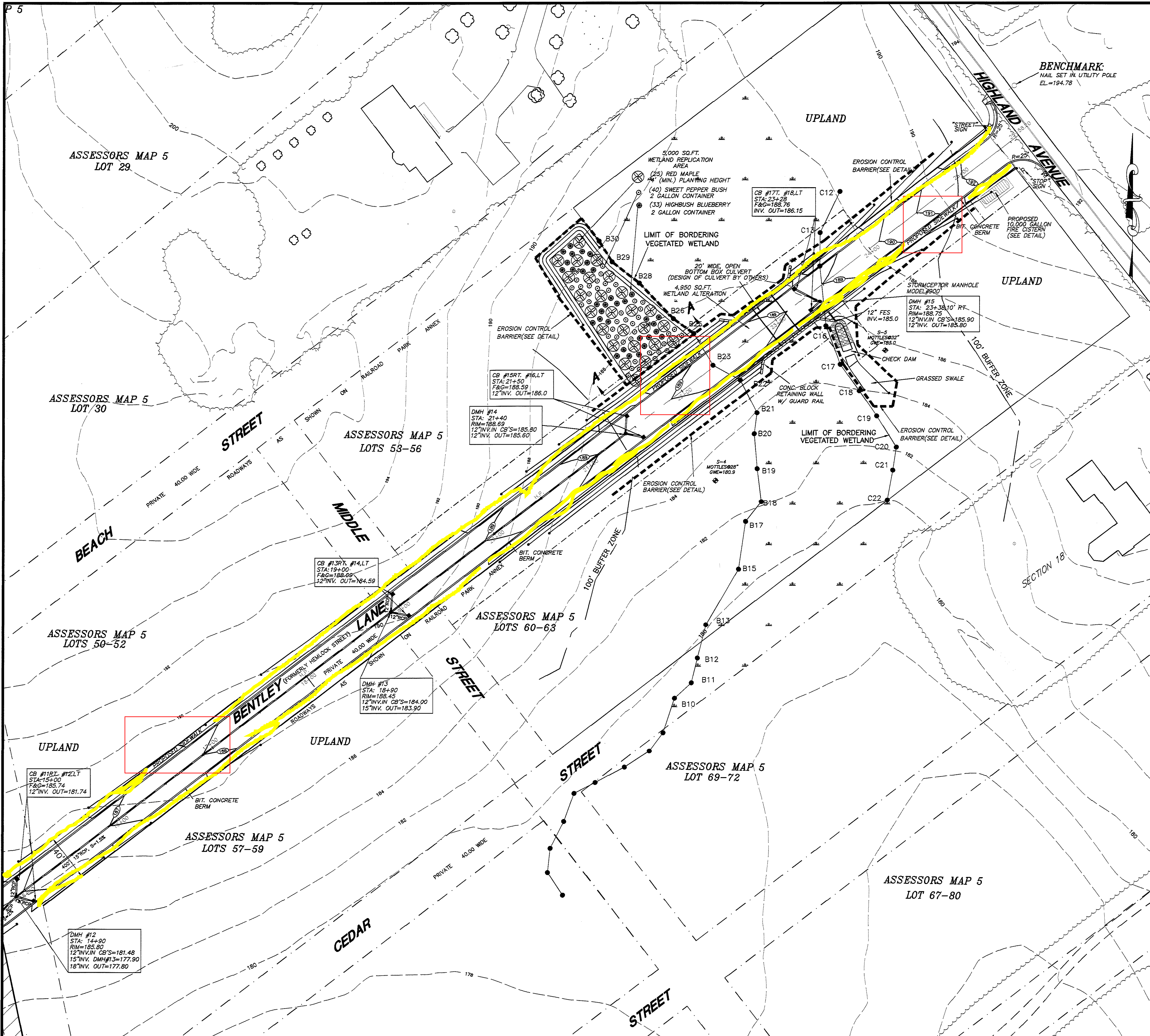
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- 2. ALL ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
- 3. PERMANENT STREET SIGNS SHALL BE INSTALLED AS REQUIRED.
- 4. TELEPHONE, ELECTRIC, AND CABLE TV UTILITIES SHALL BE INSTALLED BELOW GROUND IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY STANDARDS.
- 5. OPENINGS FOR DRIVEWAYS SHALL BE GRADED TO PREVENT NORMAL RUN-OFF WATER FROM ENTERING THE DRIVEWAY OUTSIDE OF THE STREET RIGHT-OF-WAY. ALL DRIVEWAY APRONS SHALL BE PAVED.
- 6. ALL DRAINAGE SWALES SHALL BE LOAM AND SEEDED IN ORDER TO PROVIDE STABLE VEGETATIVE COVER AND SHALL HAVE A MINIMUM BASE WIDTH OF AT LEAST TWICE THE DIAMETER OF THE DRAINAGE PIPE.
- 7. AN ASBUILT SET OF PLANS WILL BE PROVIDED TO PLANNING BOARD SHOWING ALL ROAD WORK AND THE LOCATION OF ALL UTILITIES. A LETTER FROM A REGISTERED LAND SURVEYOR WILL BE PROVIDED STATING THAT ALL BOUNDS HAVE BEEN SET ACCURATELY AND IN ACCORDANCE WITH THE APPROVED PLANS.
- 8. THE PROPOSED STREETS SHOWN ON THIS PLAN ARE PRIVATE STREETS AND SHALL REMAIN PRIVATE UNTIL SUCH TIME THE STREETS ARE ACCEPTED BY A MAJORITY VOTE AT AN ANNUAL TOWN MEETING. WHILE MOST COMPLETED STREETS BUILT TO TOWN STANDARDS ARE ACCEPTED, IT STILL REQUIRES AN AFFIRMATIVE VOTE AT TOWN MEETING AND ACCEPTANCE IS NOT GUARANTEED. MAINTENANCE AND CARE OF PRIVATE STREETS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR HOMEOWNERS.

PLANNING BOARD

THIS PLAN HAS NOT BEEN MODIFIED, AMENDED OR RESCINDED, NOR THE PLAN CHANGED.

John H. Hennessey 8/15/17

TOWN OF WESTPORT PLANNING BOARD
APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
CHAIRMAN <i>John H. Hennessey</i>	
VIC. CHAIRMAN <i>John H. Hennessey</i>	
DATE: 8/23/16	
PREL. DATE FILED: AUGUST 24, 2015	
DEF. DATE FILED: SEPTEMBER 22, 2015	
PUBLIC HEARING MAY 17, 2016	
DEF. PLAN APPROVED 8/23/16	
DEF. PLAN ENDORSED	

- SUBJECT TO A PERFORMANCE GUARANTEE (FORM F) DATED 7/25/16 RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE WESTPORT PLANNING BOARD WAS RECEIVED AND RECORDED ON 8/23/16 AT THIS OFFICE, AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

Debra M. Sullivan 8/19/2016
TOWN CLERK, WESTPORT, MA

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

John H. Hennessey

SIGNATURES OF THE PLANNING BOARD DO NOT ENSURE THAT ANY LOT SHOWN HEREIN IS BUILDABLE.

WAIVERS:

- 1. SEC III (B) d TO WAIVE THE REQUIRED COST ESTIMATE.
- 2. SEC IV(A) i TO WAIVE THE REQUIREMENT FOR 25' CORNERS AT STREET LINE INTERSECTIONS.
- 3. SEC V(C) TO WAIVE THE 20% STORMWATER REDUCTION REQUIREMENT FOR PEAK FLOW RATES AT THE SUBDIVISION BOUNDARY. NO INCREASE IN STORMWATER PEAK FLOW IS ALLOWED AT THE SUBDIVISION BOUNDARY.
- 4. SEC IV(A,2) TO WAIVE THE REQUIREMENTS OF TABLE "A" REQUIRING 26' OF PAVEMENT WIDTH (22' PROPOSED IN WHALON WAY)

PARCEL SUMMARY

MAP 5 LOT 18
MAP 5 LOT 16
MAP 5 LOT 50-68

OWNER:

MAP 5 LOT 16
OWNER: ROBERT G. KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

MAP 5 LOT 18
OWNER: ROBERT G. KFOURY, TRS.
KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

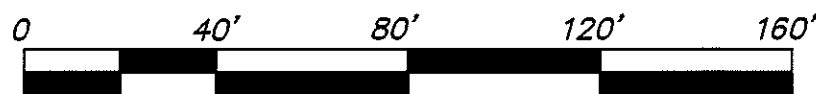
MAP 5 LOT 50-68
OWNER: WARREN M. MESSIER
180 TICKLE ROAD
WESTPORT, MA

DEED REFERENCE:

DEED RECORDED IN BRISTOL
COUNTY SOUTH REGISTRY OF DEEDS
IN DEED BOOK 5179 PAGE 235.
IN DEED BOOK 11756 PAGE 21.
IN DEED BOOK 1947 PAGE 632.

ZONE - RESIDENCE / AGRICULTURE

MIN. AREA - 60,000 SQ.FT.
MIN. UPLAND AREA - 30,000 SQ.FT.
MIN. FRONTAGE - 150'
SETBACKS: FRONT - 25'
SIDE - 10'
REAR - 6'



"BENTLEY ESTATES II"
DEFINITIVE SUBDIVISION
MAP 5 LOT 16, 18, 50-68
IN

WESTPORT, MA

PREPARED FOR

ROBERT KFOURY

SCALE: 1"=40' JANUARY 1, 2015
REVISED: 2-8-16, 4-7-16, 5-26-16

PREPARED BY

SITEC

Civil and Environmental Engineering
Land Use Planning

SITEC, Inc.

449 Founes Corner Road
North Dartmouth, Ma 02747
(508) 998-2125
FAX (508) 998-7554

NOTES:

1. 6"X 6" CONCRETE BOUNDS SHALL BE SET ON EXTERIOR STREET LINES AT ALL ANGLE POINTS, INTERSECTIONS AND AT ALL CURVES.
2. ALL LOTS WILL BE SERVICED BY INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND PRIVATE DRINKING WATER WELLS.
3. ALL LOTS REQUIRE THAT ROOF RUNOFF SHALL BE COLLECTED VIA DOWNSPOUTS AND RECHARGED INTO THE GROUND WITH ROOF DRAIN DRYWELLS.
4. ALL WETLAND RESOURCE AREAS SHOWN HAVE BEEN APPROVED THROUGH AN ORDER OF RESOURCE AREA DELINEATION ISSUED BY THE WESTPORT CONSERVATION COMMISSION ON 11-13-14. DEP FILE NUMBER 80-2146

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John K. Hester

8/15/17

TOWN OF WESTPORT PLANNING BOARD

APPROVED UNDER "SUBDIVISION CONTROL LAW"

BOARD MEMBERS	
CHAIRMAN <i>[Signature]</i>	PREL. DATE FILED: 8/6/17
VIC. CHAIRMAN <i>[Signature]</i>	DEF. DATE FILED: 8/17/17
MEMBER <i>[Signature]</i>	PUBLIC HEARING 8/27/17
DATE: 8/23/17	DEF. PLAN APPROVED 8/23/17
	DEF. PLAN ENDORSED

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KRG REALTY TRUST
306 MCGOWAN STREET
FALL RIVER, MA

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OWNER: WARREN M. MESSIER
180 TICKLE ROAD
WESTPORT, MA

DEED REFERENCE:
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MIN. FRONTAGE - 150'
SETBACKS: FRONT - 25'
SIDE - 10'
REAR - 6'

0 40' 80' 120' 160'

"BENTLEY ESTATES II" DEFINITIVE SUBDIVISION MAP 5 LOT 16, 18, 50-68

IN

WESTPORT, MA

PREPARED FOR

ROBERT KFOURY

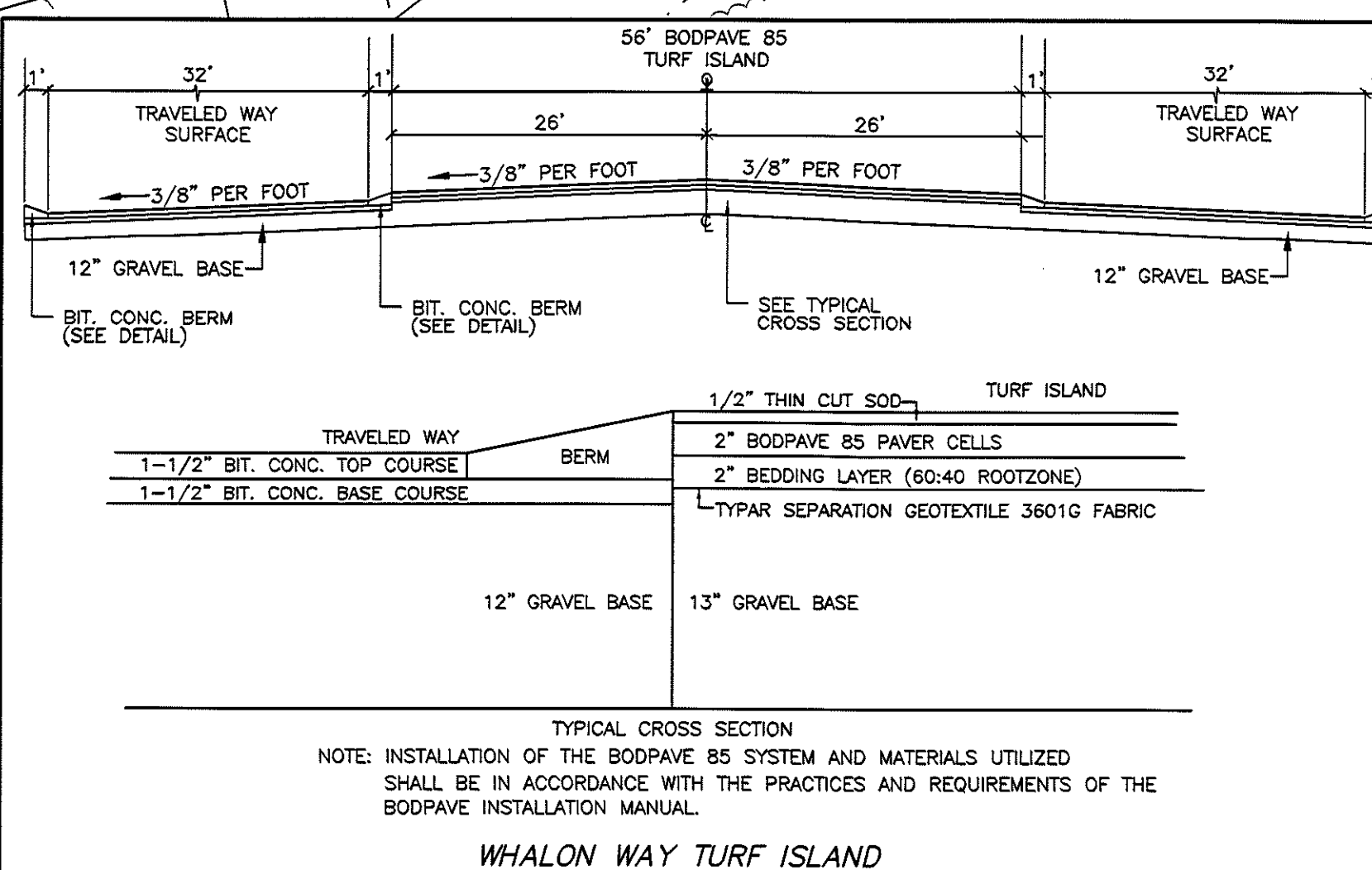
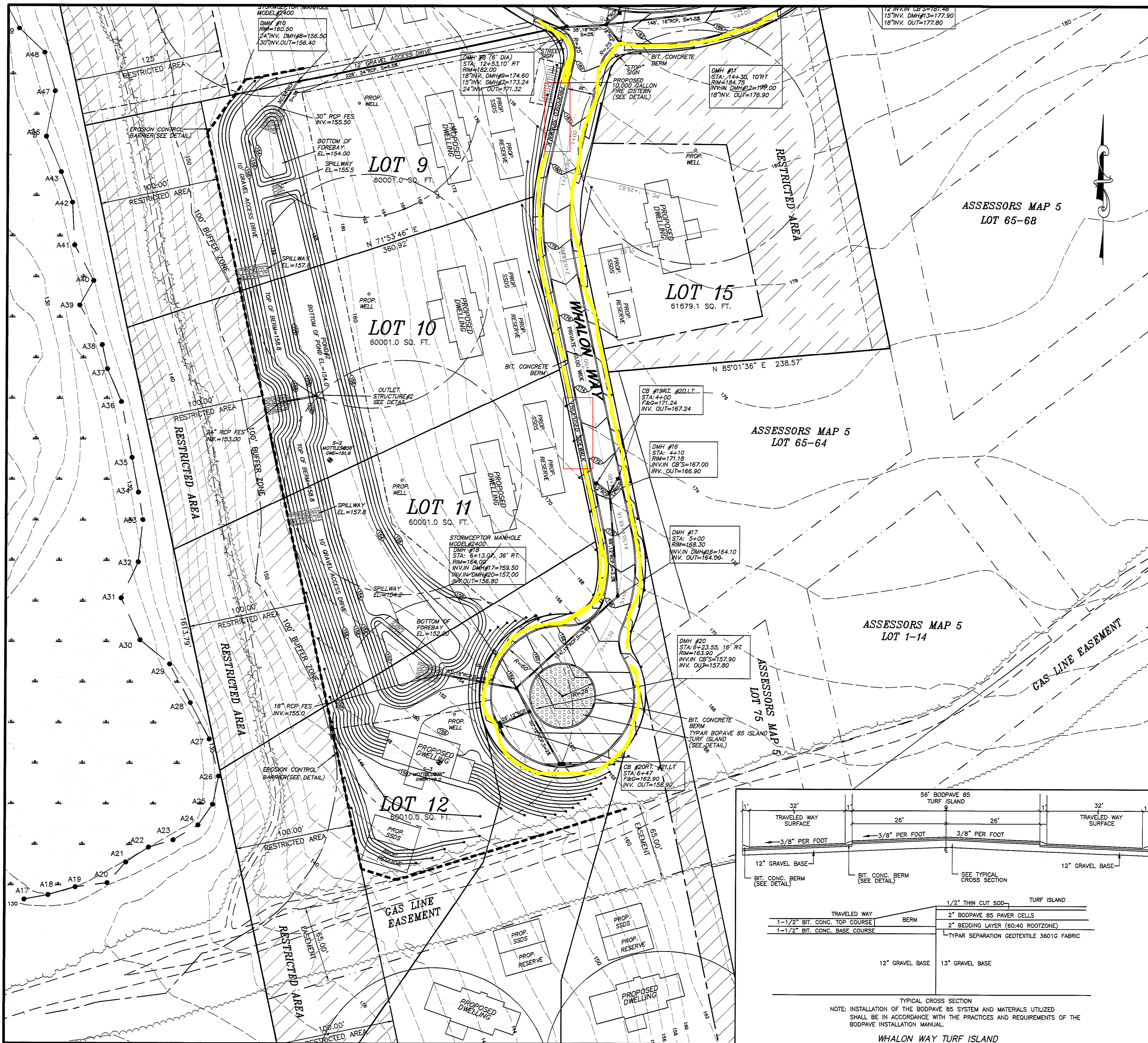
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Civil and Environmental Engineering
Land Use Planning

SITEC, Inc.

449 Fauce Corner Road
North Dartmouth, MA 02747
(508) 998-2125
FAX (508) 998-7554



NOTE: INSTALLATION OF THE BODPAVE 85 SYSTEM AND MATERIALS UTILIZED SHALL BE IN ACCORDANCE WITH THE PRACTICES AND REQUIREMENTS OF THE BODPAVE INSTALLATION MANUAL.

WHALON WAY TURF ISLAND



Town of Westport
Planning Board
856 Main Road
Westport, MA 02790

www.westport-ma.gov
planning@westport-ma.gov

Tel: (508) 636-1037
Fax: (508) 636-1031

Form C-1

Application No. 15-009-C-SP/IH

Date: May 31, 2016

CERTIFICATE OF APPROVAL OF A DEFINITIVE PLAN

TOWN CLERK
TOWN OF WESTPORT
816 MAIN ROAD
WESTPORT, MA 02790

It is hereby certified by the Planning Board of the Town of Westport, Massachusetts, that at a duly called and properly posted meeting of said Planning Board, held on May 17, 2016 it was voted to approve a definitive subdivision plan entitled "Bentley Estates II Definitive Plan Map 5, Lots 16, 18, 50-68 in Westport Massachusetts prepared for Robert Kfoury" by: SITEC Inc., dated September 1, 2014 and revised through May 26, 2016 submitted by Robert Kfoury, Trustee, KRG Realty Trust and owned by Warren M. Messier Map 5, Lots 50-68; Donald C. & Russell C. Whalon, Map 5 Lot 18; Robert G. Kfoury, Trustee, KRG Realty Trust Map 5, Lot 16, originally filed with the Town Clerk on August 4, 2015 concerning the property located at Assessor's Map 5, Lots 16, 18, 50-68 located at the terminus of Bentley Lane showing 20 proposed residential lots, with waivers and conditions attached hereto and incorporated herein.

Waivers

1. Section III (B, 1, d), Waive cost estimate.
2. Section IV (A,1, I), To waive the requirement for 25' corners at street line intersections.
3. Section V (B,2), To reduce the travelled way width to 22' for Whalon Way.
4. Section V(C), Waive 20% stormwater reduction requirement

Conditions

1. Homeowners Association: As a condition of approval of this subdivision, prior to endorsement of the definitive plan the Applicant shall create and properly fund a Homeowners Association. All purchasers of land within the subdivision shall be required to belong to the Homeowners Association, including property owners of land on the portion of Road formerly known as Hemlock Street.
 - a. The Homeowners Association shall be responsible for the maintenance, repairs and plowing of the subdivision roadways, unless accepted by the Town.

- b. The Homeowners Association shall maintain permanent ownership of any drainage basins or ponds in the subdivision, including all pipes and other appurtenant devices, and shall have the permanent responsibility of maintaining, repairing and replacing said drainage systems, as necessary, unless accepted by the Town.
 - c. The Homeowners Association documents shall be reviewed and approved by the Planning Board, in consultation with Town Counsel (at the expense of the applicant), and the Homeowners Association shall have an initial fund that is deemed satisfactory to the Planning Board, in consultation with the Planning Board's technical consultant.
 - d. The Homeowners Association shall be responsible for the permanent maintenance of the center island in Whalon Way.
2. Road Maintenance and Snow Removal: Applicant shall be responsible for periodic maintenance and snow removal until such time a properly funded Homeowners Association is created and is properly functioning.
3. Fire Protection: Access to/from the fire protection tank must be maintained at all times for Fire Department use in the event of an emergency.
4. Roof run-off recharge systems are required for each dwelling
5. Construction work on the subdivision road and utilities shall only be done between the hours of 7:00 a.m. and 6:00 p.m., Monday - Saturday.
6. The applicant shall provide the Town legal access to the proposed stormwater and fire protection systems.
7. Maximum clearing area per lot shall be limited to 40,000 s.f. excluding drainage areas or less as per the individual lots on the approved plan.
8. Add the following notes to the Plan
 - a. *"Subject to a Special Permit pursuant to the Inclusionary Housing By-Law, Article 13, granted on _____, 2016, by the Westport Planning Board and Recorded in the Bristol County Southern District Registry of Deeds in Book _____, Page _____."*
 - b. *"No dwelling shall be built on any lot without first securing from the Board of Health a permit for an approved Title-V compliant Soil Absorption System septic disposal system"*
 - c. *Areas identified as "Restricted Area" have been identified as part of the filing with the MA Division of Fisheries & Wildlife pursuant to 321 CMR 10.18. Any changes to the proposed project or any additional work beyond that shown on the site plans may require an additional filing with the Division pursuant to the Massachusetts Endangered Species Act.*

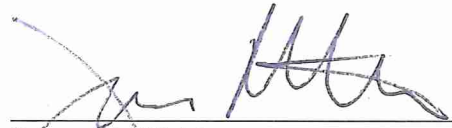
9. The cul-de-sac on Whalon Way shall have a pervious center island with a radius of 28'. The island shall be drivable and shall support H-20 loading. The Planning Board shall approve the design of the vegetative pervious center prior to endorsement.

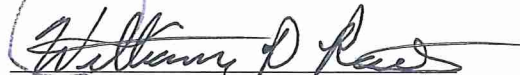
Endorsement of the approval is conditional upon the provision of a performance guarantee, duly executed and approved, to be noted on the plan and recorded with the Bristol County Southern District Registry of Deeds, said form of guarantee may be varied from time to time by the applicant subject to agreement on the adequacy and amount of said guarantee by the board.

NOTE TO TOWN CLERK: The Planning board should be notified immediately of any appeal to the superior court on this subdivision approval made within the statutory twenty (20) day appeal period.

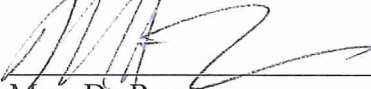
If no appeal is filed with your office the Planning Board should be notified at the end of the twenty (20) day appeal period in order that the plan(s) may be endorsed.

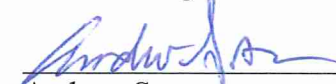
WESTPORT PLANNING BOARD


James T. Whitin


William D. Raus

David Cole


Marc De Rego


Andrew Sousa

Duplicate copy sent to applicant





TOWN OF WESTPORT
856 Main Road
Westport, Massachusetts 02790

Tel. (508) 636-1037
Fax (508) 636-1031

PLANNING BOARD

Subject: 15-009C – Bentley Estates II – Definitive Subdivision Amendment Request

Applicant Request

- On March 12, 2023, George Ayoub, consulting engineer for Robert Kfoury, requested that the Planning Board waive sidewalks at the Bentley Estates II subdivision, located at Highland Avenue. The request would eliminate approximately 3,233 lineal feet of sidewalk on both sides of the approved roadways, for a total of approximately 6,174 lineal feet.

Project Background

- On May 17, 2016, the Planning Board voted to approve the definitive subdivision plan entitled *Bentley Estates II Definitive Plan Map 5, Lots 16, 18, 50-68 in Westport, Massachusetts prepared for Robert Kfoury*. The approved subdivision plan included sidewalks on both sides of the proposed roadways.

Rules and Regulations Governing Subdivision of Land

- To amend a definitive subdivision, the applicant must submit a Form E-1, *Certificate for Amendment, Modification, or Recission of Definitive Subdivision Plan* (Subdivision Appendix).
- If a proposed modification will result in changes to the definitive plan, the plan submission requirements for a definitive plan (Subdivision § III.B) shall be followed.
 1. An amended subdivision plan shall be submitted.
- Form E-1 requires that the applicant include:
 1. A list of lot owners and their addresses.
 2. A list of all abutters and their addresses as they appear on the most recent tax list.
 3. List of all mortgage holders of land.
 4. Permission of owners affected by any change to the subdivision plan and of the mortgage holders. Authorized signatures must be provided.

Planning Board Action

- The Planning Board shall require that the applicant submit an E-1 form, an amended subdivision plan detailing proposed modifications, and the applicable fees in accordance with the *Westport Planning Board Fee Schedule*.

PDA-PPA 2024 Update

Community Priority Areas of Regional Significance

Southeastern Massachusetts and South Coast Rail Corridor



SRPEDD
Southeastern Regional Planning
& Economic Development District

Why are we here today?

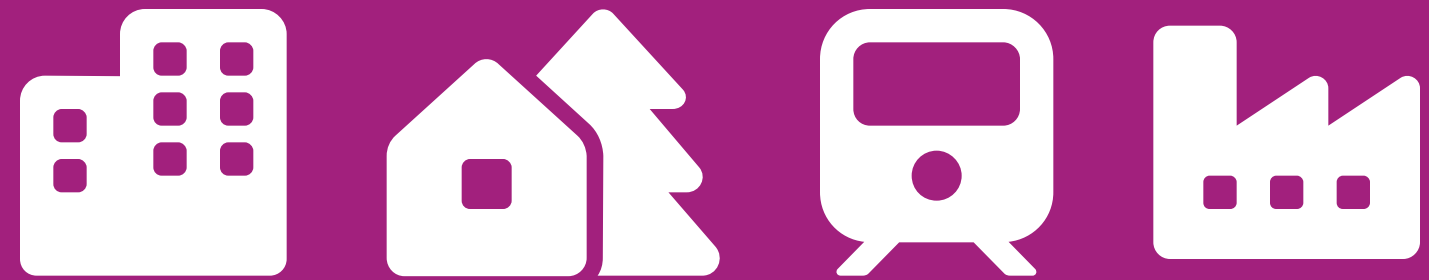


Seek Buy-In from each community's primary decision makers and key stakeholders.



Give a quick overview of what Priority Areas are and how they help your community!

What's a PDA? PPA?



Priority Development Areas (PDA)

- Areas for additional growth
- Meet regional needs
- Good transportation, infrastructure



Priority Protection Areas (PPA)

- Areas important to protect
- Significant natural or cultural resources
- Includes habitats, water resources, historic resources, and farms

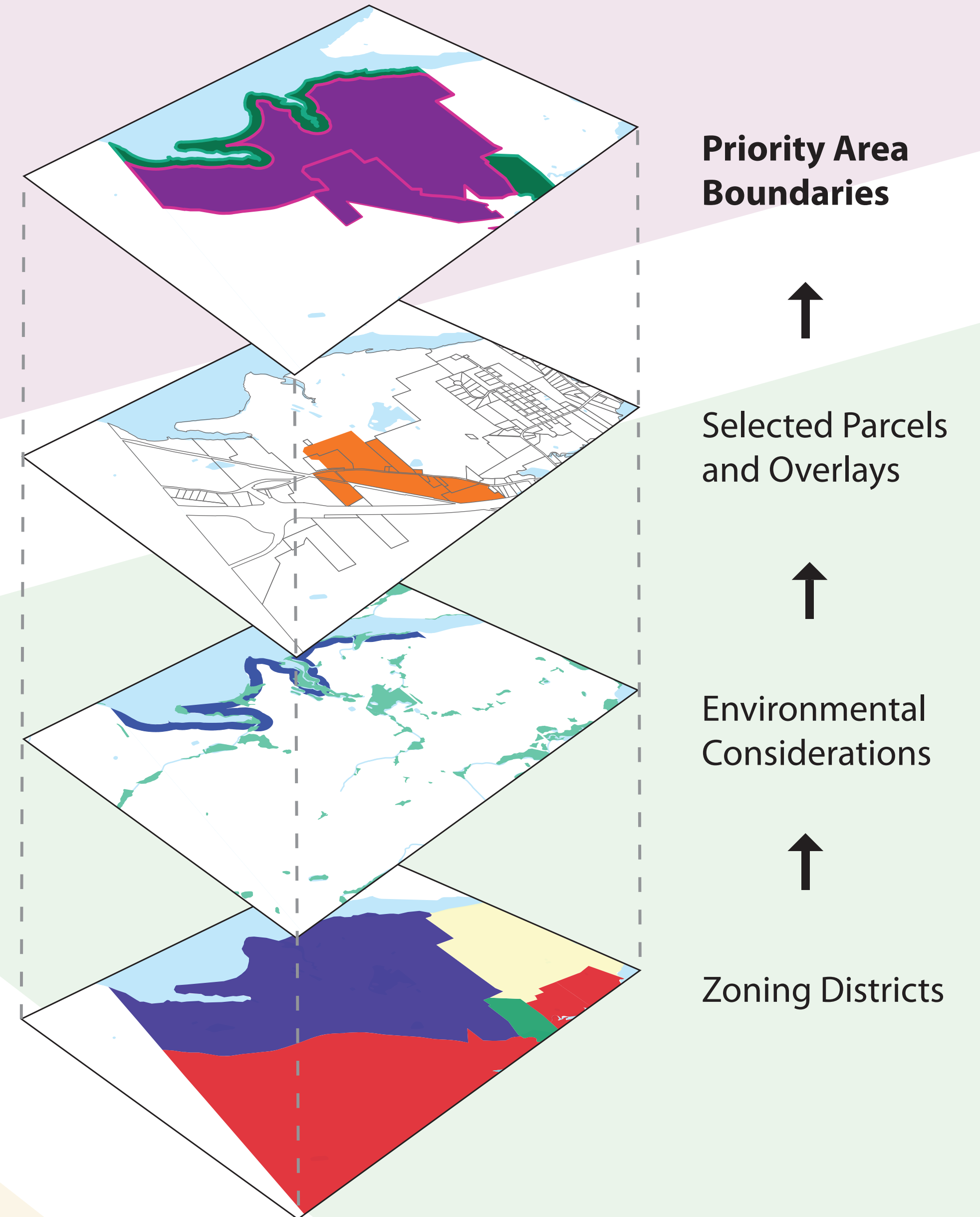
Smart Planning

Key Data

- Zoning
- Land Use
- Infrastructure

Key Environmental Data

- Habitats
- Water Resources
- Conservation Areas



Evolution of PDA/PPAs



2008

- First Pass



2013

- Refined boundaries
- Robust Civic Engagement



2024

- Updated Boundaries through new data
- Modern Civic Engagement
- Design and Development Exploration of Key Sites

Benefits of PDA

PDA Designations help communities to coordinate local plans and win competitive grants.

Success Story: North Attleborough

- Funding for new zoning
- \$1.3M MassWorks grant for roads and water/sewer
- 193 units located Downtown



Benefits of PPA

PPA Designations help communities coordinate local conservation efforts and win competitive grants.

Success Story: Norton

- Updated OSRP
- \$575k LAND grant for conservation acquisitions
- 150 acres permanently protected



Canoe River-Hockomock



Crane Farm (Stephen Peterson, Sun Chronicle 2016)

Your Community

Westport

4 PDAs on **1,510** acres

7 PPAs on **20,655** acres

1 Combined Areas on **406** acres

Interactive Map:

<https://arcg.is/1yjuPL>

Project Timeline

We're here!



Kick-off

Local Meeting 1
March - May '23

Introduce Project to
Local Governing Bodies

*Share current Priority Areas and
learn about local priorities*



Local Workshops

Local Meeting 2
June - September '23

Working Sessions with
Local Planners

*Update Priority Areas based on new
data and community needs. Provide
scenarios and recommendations.*



Local PDAs & PPAs

Local Meeting 3
September - December '23

Review Draft Local
PDAs & PPAs

*Share draft Priority Areas with each
community and solicit feedback.*



Regional Screening

Regional Meeting
January - February '24

Designate most important local
PDAs & PPAs as Regional Priority Areas

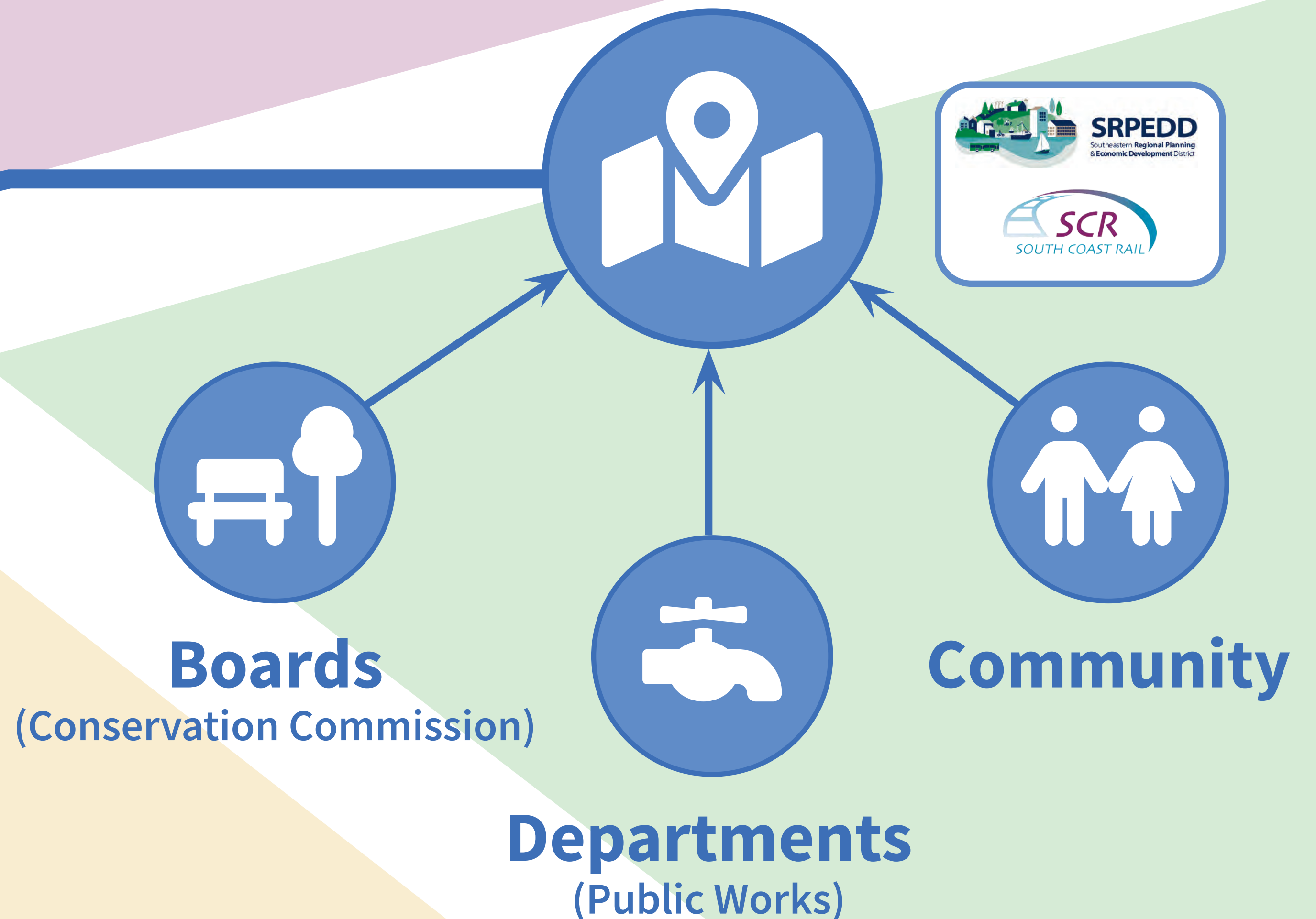
*Through two region-wide workshops, prioritize the
most important Priority Areas of regional significance.*

Your Role

Planning Planner and Planning Board



Municipal Leader Board of Selectmen/Mayor



Thank You!

Questions?



SRPEDD
Southeastern Regional Planning
& Economic Development District

SRPEDD Contacts:

Phillip Hu phu@srpedd.org

Maria Jones mjones@srpedd.org

Medeiros Farm

07-002C

New Owner:

Applicant

Maya Way Development LLC Bill DiSpirito

269 Narrow Ave

Westport, MA 02790

508 982 1718

(Mr. Mollicone builder)

Date:

June 23, 2023

Account Type

Construction

Account No.

23112502

Account Name:

MEDEIROS FARM FBO MAYA WAY

SUMMARY

[illegible]

Medeiros Farm SURETY

07-002C SURETY

New Owner:
Applicant Maya Way Development LLC Bill DiSpirito
269 Narrow Ave
Westport, MA 02790
508 982 1718
(Mr. Mollicone builder)

Date: June 23, 2023
Account Type surety
Account No. 63172410
Account Name: Maya Way Development LLC

	Date	Description	Work Order	Credit	Debit	Balance
1	10/25/16	Initial Deposit		\$ 87,000.00		\$ 87,000.00
2	4/11/23	Invoice #23-4			540.00	\$ 86,460.00
3	6/5/23	Invoice #23-6			1,147.50	\$ 85,312.50
4						
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37						\$ 85,312.50

23-019ch 91



Massachusetts Department of Environmental Protection
Chapter 91 Waterways Water-Dependent, Nonwater Dependent, Amendment Application
Municipal Planning Board Notification

RECEIVED

JUN - 9 2023

WESTPORT
PLANNING BOARD

Note to Permittee: This form should be submitted, with the top portion completed, to the municipal Planning Board along with the complete application and project plans.

Ward & Lucy Mooney
Name of Permittee
1702-E Drift Road Westport River Westport
Project Address Name of Waterway City/Town
East Branch
Description of project and use or change in use (this field is not limited to the one line shown).
Proposed fixed pier, gangway & float

To be completed by the municipal Planning Board representative.

"I hereby certify that the project described above and more fully detailed in the Permittee's Waterways License application and plans have been submitted by the Permittee to the municipal Planning Board."

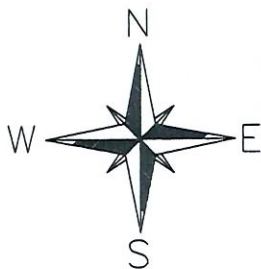
Michael, Burris 6-12-23
Print Name of Municipal Planning Board Representative Date
Town Planner Westport
Signature of Municipal Planning Board Representative Title City/Town

Note: Any Planning Board recommendation shall be submitted in accordance with 310 CMR 9.13(5). Comments pertaining to this Application shall be submitted in accordance with 310 CMR 9.13(4); any comments submitted after the close of the public comment period shall not constitute a basis for standing in any appeal pursuant to 310 CMR 9.13(4) and/or 310 CMR 9.17.

"I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED
IN CONFORMANCE WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH
OF MASSACHUSETTS."

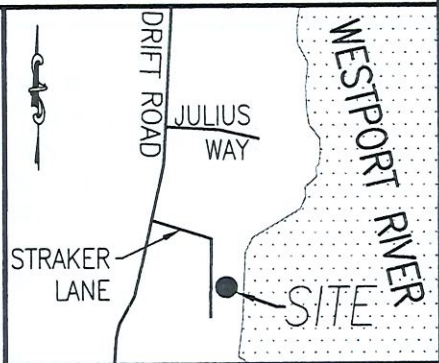
Alan J. Heureux
ALAN J. HEUREUX, P.E.

6/5/23
DATE



— LEGEND —

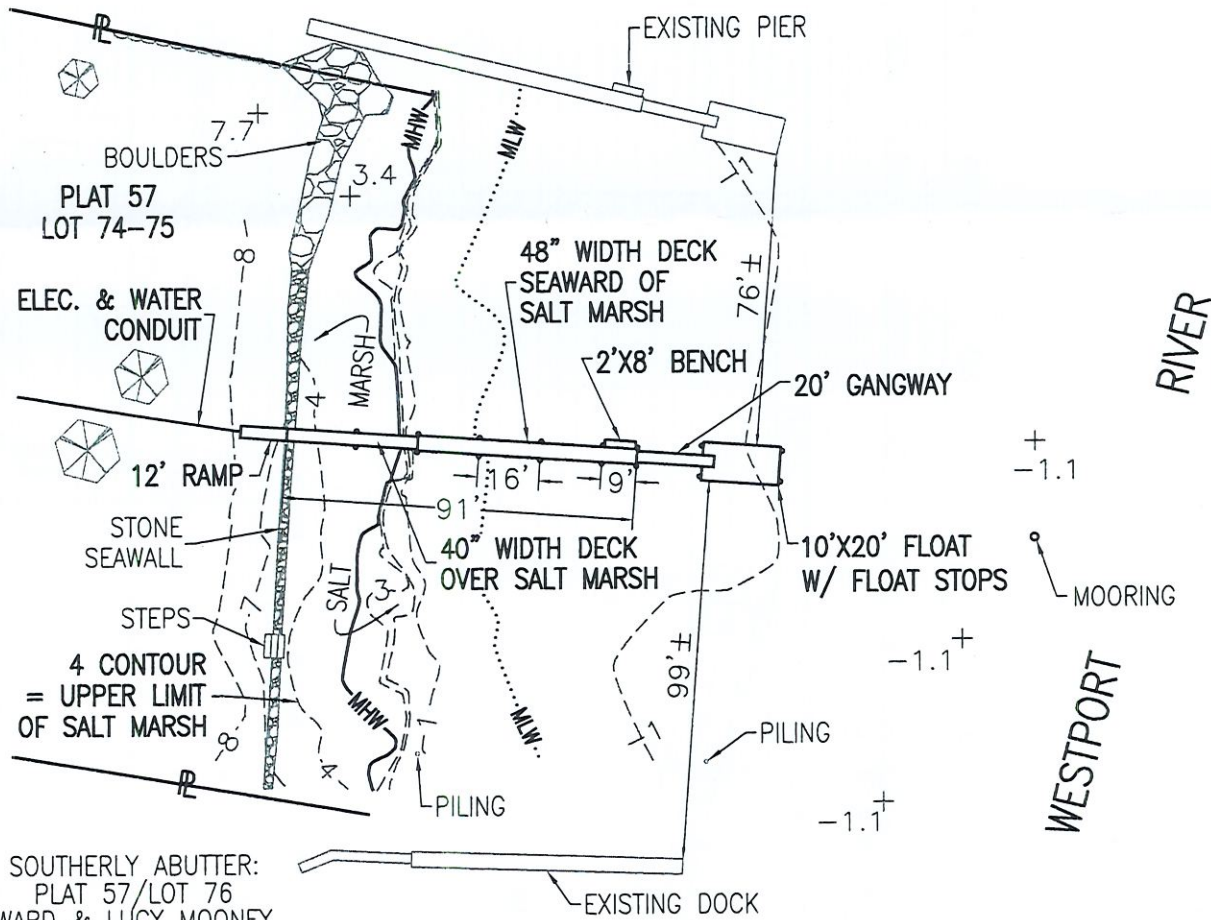
- P — APPROX. PROPERTY LINE
- - - 4 - - - EXISTING CONTOUR
- MLW MEAN LOW WATER
- MHW — MEAN HIGH WATER



41.533704 N
-71.064344 W

VICINITY MAP
SCALE: 1"=2000'

NORTHERLY ABUTTER:
PLAT 57/LOT 73
DOUGLAS & STEPHANIE GLASSMAN
1702-D DRIFT ROAD
WESTPORT, MA 02790



SOUTHERLY ABUTTER:
PLAT 57/LOT 76
WARD & LUCY MOONEY
1702-F DRIFT ROAD
WESTPORT, MA 02790

A PORTION OF THIS SITE IS WITHIN THE 100
YEAR FLOOD ZONE "VE" (EL.15) NAVD88 AS
SHOWN ON THE NFIP/FIRM #25005C0462G
DATED JULY 6, 2021.

50 0 50
SCALE 1" = 50' (FEET)

PLAN ACCOMPANYING THE PETITION OF WARD & LUCY
MOONEY, 1702-E DRIFT ROAD, WESTPORT MA 02790,
TO LICENSE AND MAINTAIN A PROPOSED FIXED PIER,
GANGWAY AND FLOAT ON THE WESTPORT RIVER -
EAST BRANCH, WESTPORT MA.

JUNE 5, 2023

SHEET 1 OF 3



Heureux Engineering, LLC

25 HIGH STREET
DARTMOUTH, MASSACHUSETTS 02748

DATUM: MEAN LOW WATER ELEVATION = 0.0

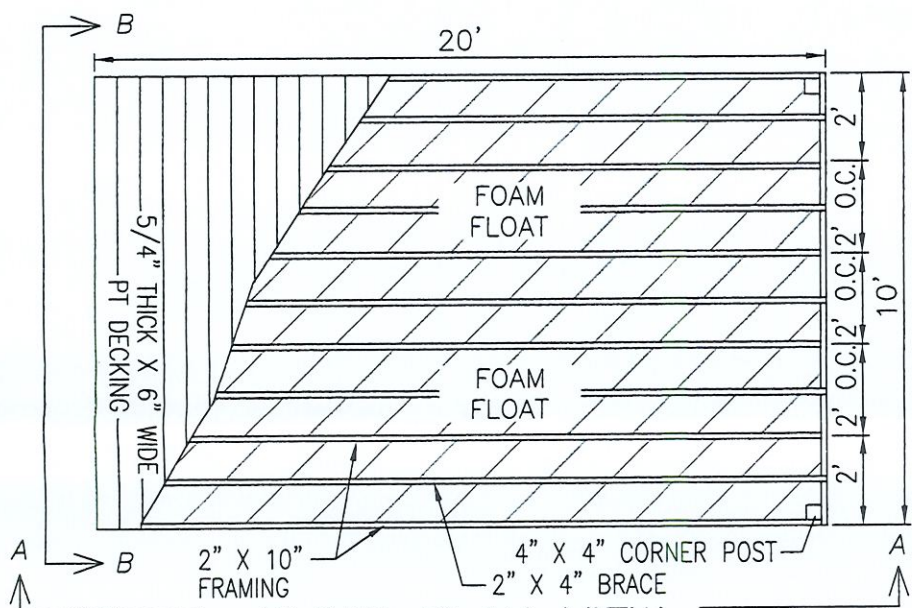
"I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED
IN CONFORMANCE WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH
OF MASSACHUSETTS."

Alan J. Heureux
ALAN J. HEUREUX, P.E.

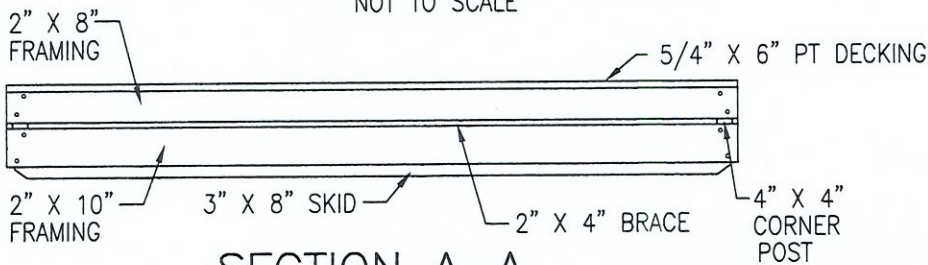
6/5/23
DATE

CONSTRUCTION NOTES:

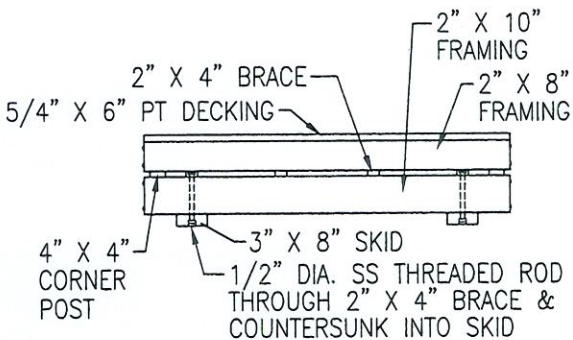
1. THE PILINGS SHALL BE 12" GREENHART.~ ALL TIMBER ABOVE THE WATERLINE SHALL BE TREATED WITH MICRONIZED COPPER AZOLE COMPOUNDS OR APPROVED COMPARABLE SUBSTITUTE. HARDWARE BELOW THE WATERLINE SHALL BE STAINLESS STEEL.~ ALL OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED OR APPROVED COMPARABLE SUBSTITUTE.
2. THREE (3) STRINGERS ARE REQUIRED FOR PIER (3" X 10").
3. ELECTRIC & WATER CONDUITS SHALL BE RUN ALONG THE TOP OF THE SPLIT CAPS.
4. ALL FOAM MATERIAL USED FOR DOCK FLOTATION SHALL BE CLOSED-CELL POLYSTYRENE FOAM FOR MARINE USE OR SHALL BE PROPERLY ENCAPSULATED.
5. THE FLOAT SHALL HAVE REFLECTIVE TAPE PLACED ON THREE SIDES FACING SEAWARD.



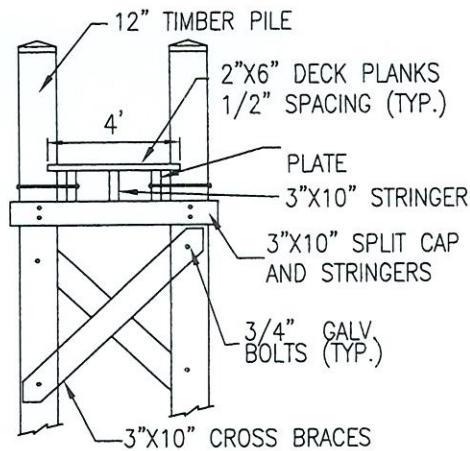
FLOAT PLAN VIEW
NOT TO SCALE



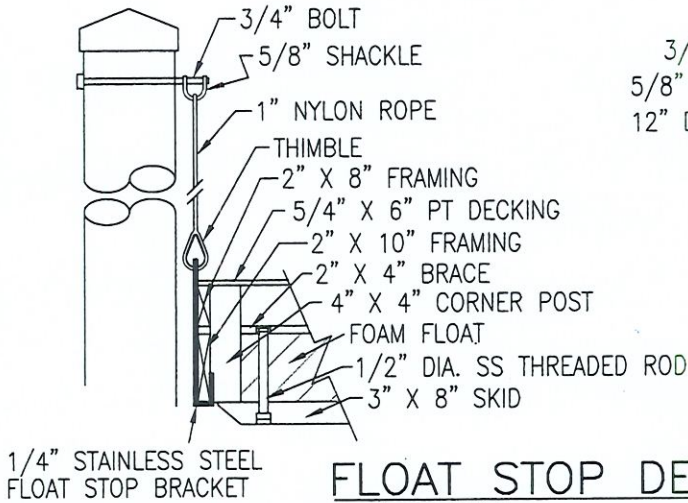
SECTION A-A
NOT TO SCALE



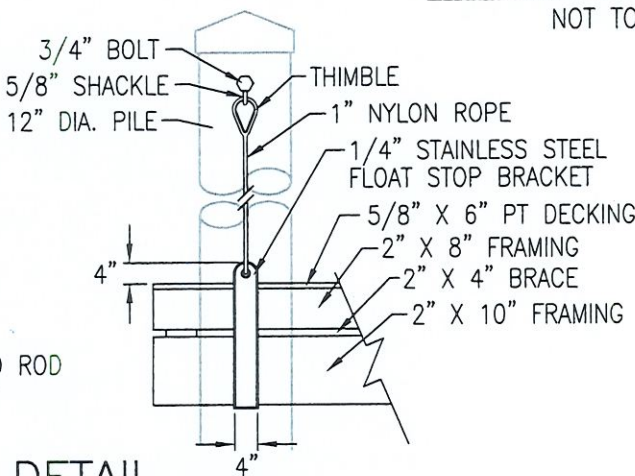
SECTION B-B
NOT TO SCALE



FIXED PIER
TRANSVERSE SECTION
NOT TO SCALE



FLOAT STOP DETAIL
NOT TO SCALE



Heureux Engineering, LLC
25 HIGH STREET
DARTMOUTH, MASSACHUSETTS 02748

JUNE 5, 2023

SHEET 3 OF 3

PLAN ACCOMPANYING THE PETITION OF WARD & LUCY
MOONEY, 1702-E DRIFT ROAD, WESTPORT MA 02790,
TO LICENSE AND MAINTAIN A PROPOSED FIXED PIER,
GANGWAY AND FLOAT ON THE WESTPORT RIVER -
EAST BRANCH, WESTPORT MA.





Massachusetts Department of Environmental Protection

Chapter 91 Waterways Water-Dependent, Nonwater Dependent, Amendment Application

Municipal Planning Board Notification

Note to Permittee: This form should be submitted, with the top portion completed, to the municipal Planning Board along with the complete application and project plans.

Robert Branca

Name of Permittee

2015 Main Road

Project Address

Westport River

Name of Waterway

City/Town

Westport

Description of project and use or change in use (this field is not limited to the one line shown).

To construct and maintain a pier and float.

To be completed by the municipal Planning Board representative.

"I hereby certify that the project described above and more fully detailed in the Permittee's Waterways License application and plans have been submitted by the Permittee to the municipal Planning Board."

Print Name of Municipal Planning Board Representative

Date

Signature of Municipal Planning Board Representative Title

City/Town

Note: Any Planning Board recommendation shall be submitted in accordance with 310 CMR 9.13(5). Comments pertaining to this Application shall be submitted in accordance with 310 CMR 9.13(4); any comments submitted after the close of the public comment period shall not constitute a basis for standing in any appeal pursuant to 310 CMR 9.13(4) and/or 310 CMR 9.17.



Department of Environmental Protection

100 Cambridge Street 9th Floor Boston, MA 02114 • 617-292-5500

Maura T. Healey
Governor

Kimberley Driscoll
Lieutenant Governor

Rebecca L. Tepper
Secretary

Bonnie Heiple
Commissioner

Proof of Signature for WW01 - Water-Dependent License/Permit Application

Permittee Information

Name: Robert Branca
Phone: (508) 735-5805
Address: 2015 MAIN RD
WESTPORT, MA 02719

Application Submitter Information

Name: MICHAEL TORTORA
Phone: (774) 501-2176
Address: 31 BELLOWS RD RAYNHAM, MA
RAYNHAM, MA 02767

Location Information

Westport River
2015 MAIN ROAD WESTPORT, MA 02719
Latitude: 41.518711
Longitude: 71.073334

List of Abutters

Full Legal Name	Abutting Property Address
Trippe Charles W & Pamela R	PO Box 156 Westport Point, MA 02791
Harty Sally White	36 Fiske Road Wellesley, MA 02481

Additional Contacts Info

Please provide the Name of the Permittee(s) exactly as it should be listed in the license/permit that will be recorded at the Registry of Deeds (the name(s) listed here need to match the name(s) listed on the plans or the license may be rejected by the Registry of Deeds)

Robert Branca



Department of Environmental Protection

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Kimberley Driscoll
Lieutenant Governor

Rebecca L. Tepper
Secretary

Bonnie Heiple
Commissioner

I hereby attest that I have listed all the Permittees in the Application Contacts section (each Permittee entered as a separate contact - do not list 2 names in 1 field) Yes

Is the project site within a right of way? No

Are you submitting evidence of legal authority to apply in lieu of the Property Owner's Signature? If yes, please attach a document 'Evidence of Legal Authority' in the document section Yes

I hereby attest that I have listed all the Property Owners in the Application Contacts section Yes

I hereby attest that I have listed all the Abutters in the above Contact table section Yes

Application Type

Please select the application type you are applying for Residential with less than or equal to 4 units

Project Information

Brief Description of Project (e.g., dock, seawall, boat ramp, Harborwalk – if a longer narrative is to be provided, please upload a separate document) Construct and maintain a pier and float.

Brief Description of Project Location - Non-Traditional Address (e.g., 'west end Toronto Avenue right-of-way at Gloucester Harbor' DO NOT complete this field if your project has a traditional address - enter N/A) N/A

Proposed Use/Activity description Construction of a private dock for use of mooring a non-commercial boat.

Is this site subject to 21E? No

Does the project exceed the MEPA review thresholds for Waterways standards? No

Is the Project site in an Environmental Justice Community? No

Which Wetlands Protection Act process document are you attaching? WPA Notice of Intent

Has there ever been a waterways jurisdictional determination issued for this project site? No



Department of Environmental Protection

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Governor

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Lieutenant Governor

Rebecca L. Tepper
Secretary

Bonnie Heiple
Commissioner

Does your project require a 401 water quality certificate? If yes, please attach if currently available, a copy of '401 Water Quality Certificate' in the document section.

No

Are you seeking a Variance? If yes, please attach a supporting evidence of compliance with 310 CMR 9.21, 'Variance Supplement' in the document section.

No

Is the project located within the Designated Port Area? If yes, please review the standards at 310 CMR 9.12 and 9.32.

No

Is the project located within an area subject to State Approved Municipal Harbor Plan? If yes, please attach supporting evidence of compliance with applicable MHP, 'MHP Supplement' in the document section.

No

Are you seeking a CWD (consolidated written determination) in accordance with 310 CMR 9.14(4)? If yes, please attach a document 'CWD Supplement' in the document section.

No

Does your project involve dredging?

No

Documents

Documents

Required Documents:

1. Chapter 91 Plans
2. Evidence of Legal Authority
3. List of Environmental Regulatory Programs
4. WPA Notice of Intent

Special Fee Provision

Exemption

Exclusion (special agreement or policy)

Substitution (ASP/IRP)

Double Fee for Enforcement

Hardship payment extension request



Department of Environmental Protection

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Governor

Kimberley Driscoll
Lieutenant Governor

Rebecca L. Tepper
Secretary

Bonnie Heiple
Commissioner

Application Contacts

Name	Organization Name	Contact Person	Telephone #	Contact Type	Email
MICHAEL, TORTORA	n/a	n/a	(774) 501-2176	Application Prepared By	mtortora@cecinc.com
MICHAEL, TORTORA	n/a	n/a	(774) 501-2176	Application Prepared By	mtortora@cecinc.com



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Lieutenant Governor

Rebecca L. Tepper
Secretary

Bonnie Heiple
Commissioner

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I HEREBY CERTIFY THAT THIS PLAN
CONFORMS WITH THE RULES AND
REGULATIONS OF THE REGISTERS
OF DEEDS.

DATE

ABUTTERS LIST

MAP 83 LOT 26
CHALES & PAMELA TRIPPE
12376 NORTH A-1-A VERO
BEACG, FL
MAP 83LOT 17
HARTY SALLY WHITE TRUSTEES
36 FISKE ROAD
WELLESLEY, MA

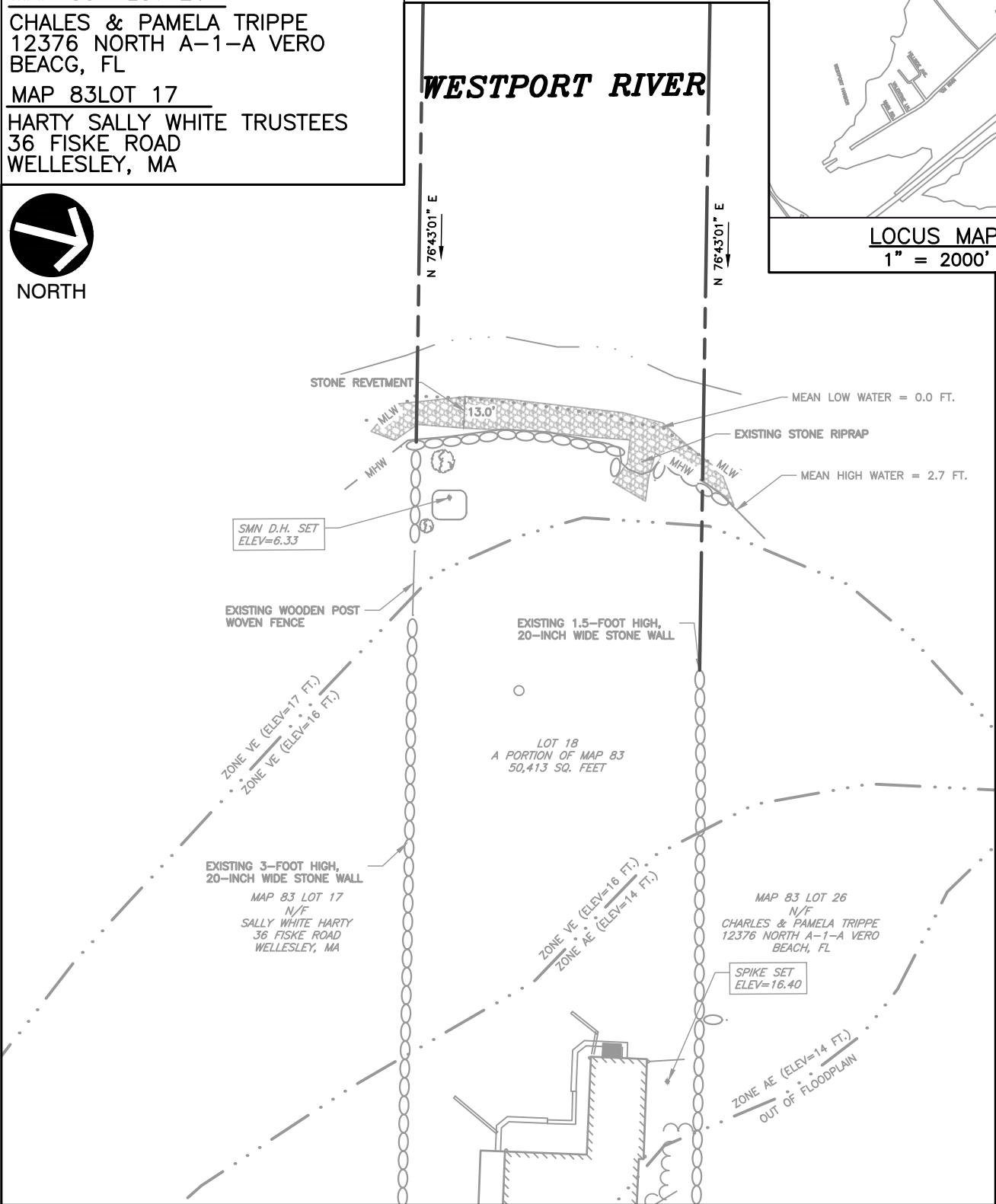
ALL ELEVATIONS ARE BASED
UPON MLW=0.0 (NAVD DATUM)

WESTPORT RIVER

LOCUS MAP
1" = 2000'



NORTH



SHEET 1 OF 4
TITLE SHEET

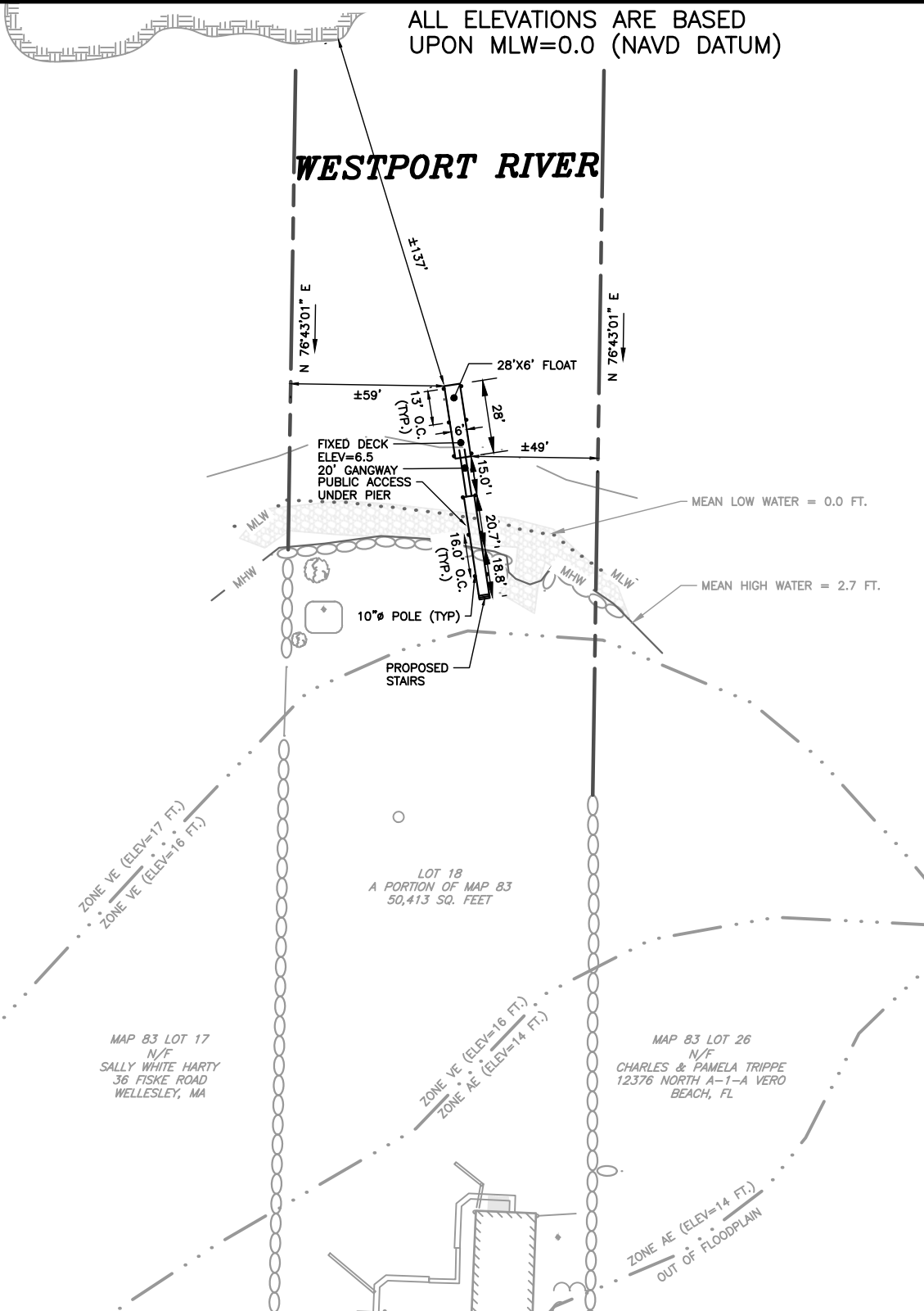
SCALE: 1" = 60'

APRIL 11, 2023 (REVISED JUNE 2, 2023)
PLAN TO ACCOMPANY PETITION OF
ROBERT BRANCA , TO CONSTRUCT
& MAINTAIN A PIER AND FLOAT IN
WESTPORT RIVER, & MAINTAIN STONE
REVTMENT
LAT 41.518475"N LONG -71.074379"W
2015 MAIN STREET
TOWN OF WESTPORT, BRISTOL COUNTY,
MASSACHUSETTS



I HEREBY CERTIFY THAT THIS PLAN
CONFORMS WITH THE RULES AND
REGULATIONS OF THE REGISTERS
OF DEEDS.

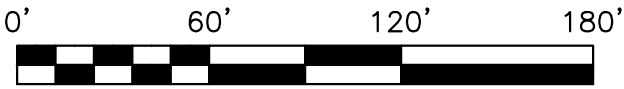
DATE



SHEET 2 OF 4
PROPOSED CONDITIONS
(PROPOSED DOCK)

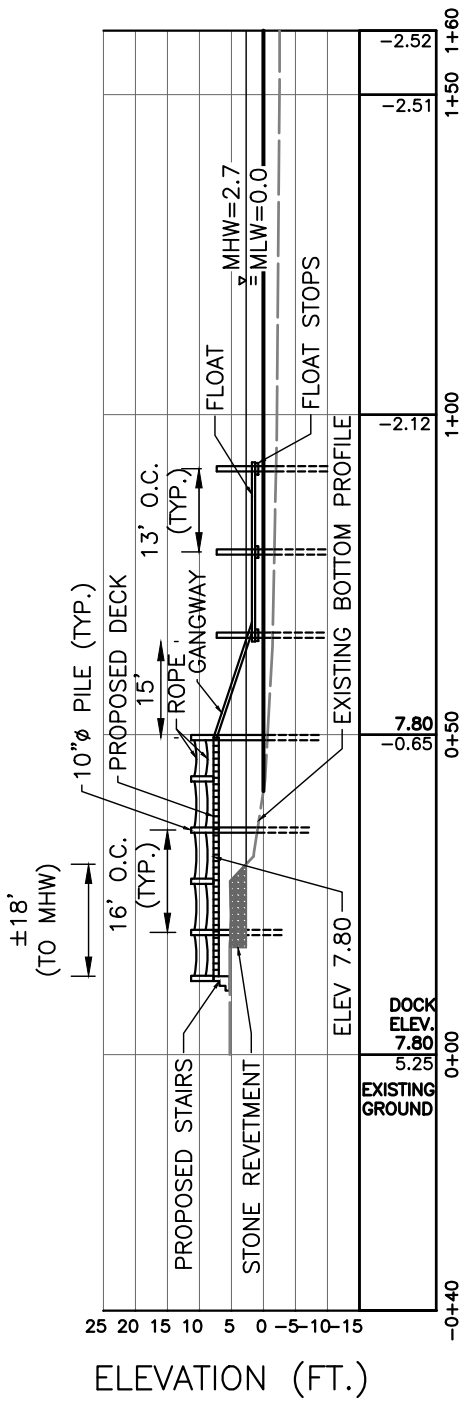
APRIL 11, 2023 (REVISED JUNE 2, 2023)
PLAN TO ACCOMPANY PETITION OF
ROBERT BRANCA , TO CONSTRUCT
& MAINTAIN A PIER AND FLOAT IN
WESTPORT RIVER, & MAINTAIN STONE
REVETMENT
LAT 41.518475"N LONG -71.074379"W
2015 MAIN STREET
TOWN OF WESTPORT, BRISTOL COUNTY,
MASSACHUSETTS

SCALE: 1" = 60'



I HEREBY CERTIFY THAT THIS PLAN
CONFORMS WITH THE RULES AND
REGULATIONS OF THE REGISTERS
OF DEEDS.

DATE

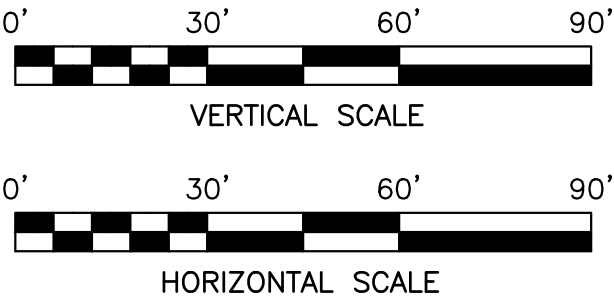


A-A PROFILE
SCALE H:1"=60'; V:1"=60'

SHEET 3 OF 4
PROPOSED PROFILE

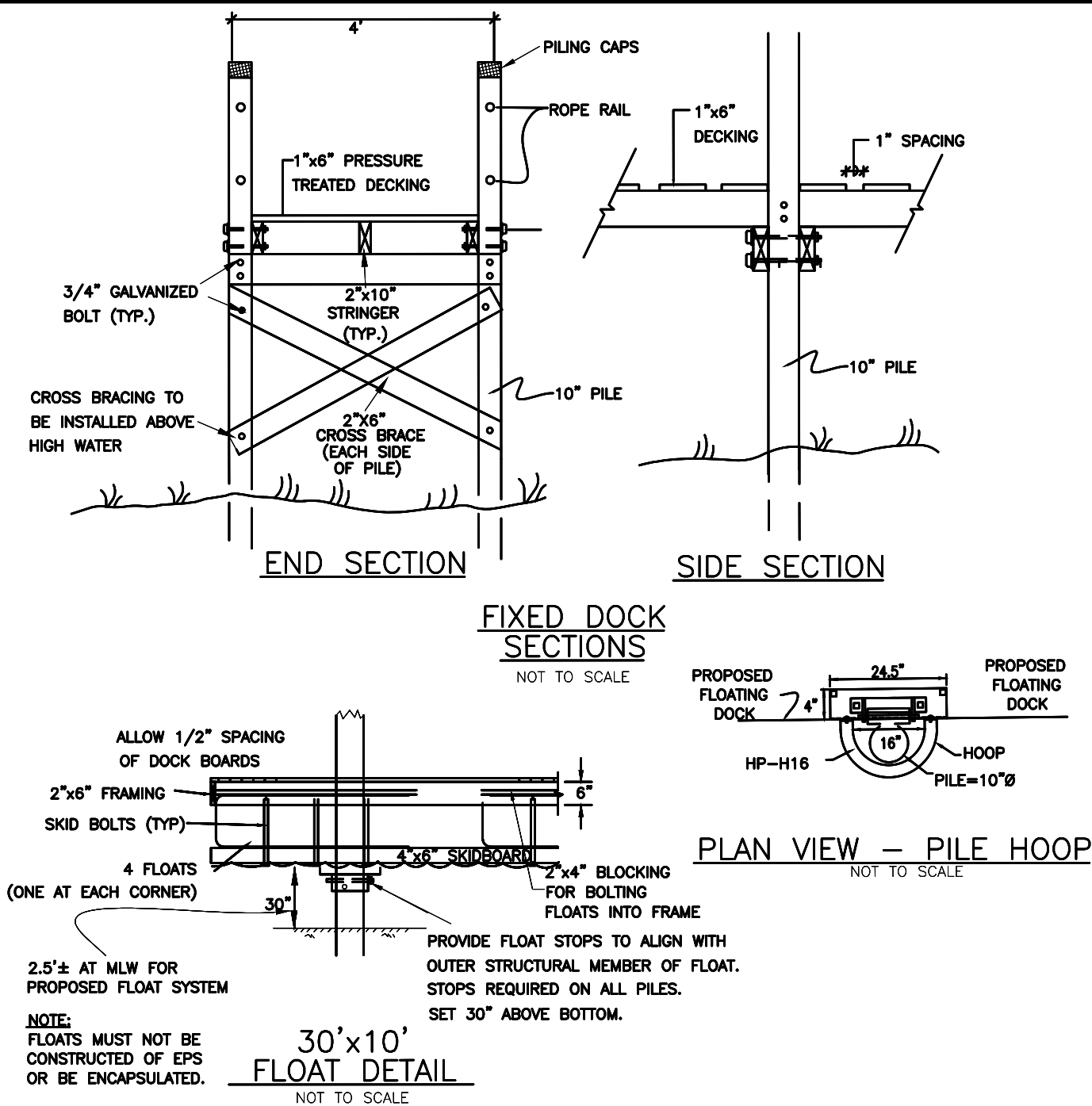
APRIL 11, 2023 (REVISED JUNE 2, 2023)
PLAN TO ACCOMPANY PETITION OF
ROBERT BRANCA , TO CONSTRUCT
& MAINTAIN A PIER AND FLOAT IN
WESTPORT RIVER, & MAINTAIN STONE
REVETMENT
LAT 41.518475"N LONG -71.074379"W
2015 MAIN STREET
TOWN OF WESTPORT, BRISTOL COUNTY,
MASSACHUSETTS

SCALE: AS SHOWN



I HEREBY CERTIFY THAT THIS PLAN
CONFORMS WITH THE RULES AND
REGULATIONS OF THE REGISTERS
OF DEEDS.

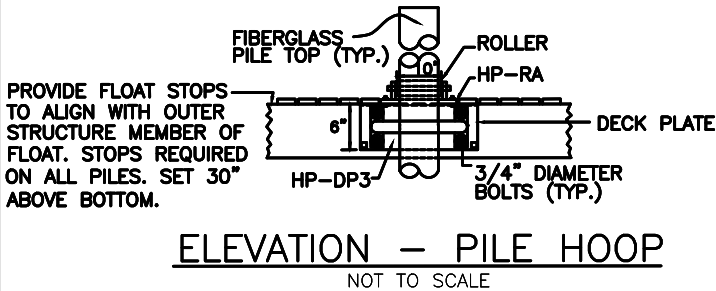
DATE



NOTES:

1. TIMBER PILES SHALL BE NON CCA LUMBER PILES OF 10" DIAMETER.
2. 10" DIAMETER WOOD PILES TO BE DRIVEN A MINIMUM DEPTH NEEDED TO AVOID UPLIFT.
3. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.
4. DATUM BASED ON MEAN LOW WATER.
5. ALL CONSTRUCTION SHALL MEET ALL LOCAL BUILDING CODE REQUIREMENTS FOR RESIDENTIAL DECKING AND CONSTRUCTION.
6. PILE SLEEVES SHALL BE USED WHERE NEEDED TO PREVENT ICE DAMAGE.
7. ALL DISTURBED LAWN AREAS SHALL BE LOAM & SEEDED UPON COMPLETION OF CONSTRUCTION.
8. MATERIALS SHALL NOT BE STOCKPILED ON THE COASTAL BEACH OR ADJACENT RESOURCE AREAS.

SHEET 4 OF 4
DETAIL SHEET SCALE: AS SHOWN
APRIL 11, 2023 (REVISED JUNE 2, 2023)
PLAN TO ACCOMPANY PETITION OF
ROBERT BRANCA , TO CONSTRUCT
& MAINTAIN A PIER AND FLOAT IN
WESTPORT RIVER, & MAINTAIN STONE
REVETMENT
LAT 41.518475"N LONG -71.074379"W
2015 MAIN STREET
TOWN OF WESTPORT, BRISTOL COUNTY,
MASSACHUSETTS





Massachusetts Department of Environmental Protection

Chapter 91 Waterways Water-Dependent, Nonwater Dependent, Amendment Application

Municipal Planning Board Notification

Note to Permittee: This form should be submitted, with the top portion completed, to the municipal Planning Board along with the complete application and project plans.

Caroline Christiano

Name of Permittee

21 Valentine Lane

Project Address

Westport

Name of Waterway

City/Town

Westport

Description of project and use or change in use (this field is not limited to the one line shown).

To construct and main a pier and float. Repair an existing solid filled
pier.

To be completed by the municipal Planning Board representative.

"I hereby certify that the project described above and more fully detailed in the Permittee's Waterways License application and plans have been submitted by the Permittee to the municipal Planning Board."

 Print Name of Municipal Planning Board Representative

 Date

 Signature of Municipal Planning Board Representative Title

 City/Town

Note: Any Planning Board recommendation shall be submitted in accordance with 310 CMR 9.13(5). Comments pertaining to this Application shall be submitted in accordance with 310 CMR 9.13(4); any comments submitted after the close of the public comment period shall not constitute a basis for standing in any appeal pursuant to 310 CMR 9.13(4) and/or 310 CMR 9.17.



Department of Environmental Protection

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Governor

Kimberley Driscoll
Lieutenant Governor

Rebecca L. Tepper
Secretary

Bonnie Heiple
Commissioner

Proof of Signature for WW01 - Water-Dependent License/Permit Application

Permittee Information

Name: Caroline Christiano
Phone: (617) 515-0320
Address: 21
WESTPORT, MA 02790

Application Submitter Information

Name: MICHAEL TORTORA
Phone: (774) 501-2176
Address: 31 BELLOWS RD RAYNHAM, MA
RAYNHAM, MA 02767

Location Information

Westport River
21 VALENTINE LANE WESTPORT, MA 02703
Latitude: 41.51924
Longitude: -71.07409

List of Abutters

Full Legal Name	Abutting Property Address
C/O ROBERT,ELIZ&JOHN	1991-D MAIN ROAD, Westport MA 02791
TRIPPE CHARLES W & PAMELA R	24 Valentine Ln, Westport, MA 02790

Additional Contacts Info

Please provide the Name of the Permittee(s) exactly as it should be listed in the license/permit that will be recorded at the Registry of Deeds (the name(s) listed here need to match the name(s) listed on the plans or the license may be rejected by the Registry of Deeds)

Carloine Christiano



Department of Environmental Protection

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Governor

Kimberley Driscoll
Lieutenant Governor

Rebecca L. Tepper
Secretary

Bonnie Heiple
Commissioner

I hereby attest that I have listed all the Permittees in the Application Contacts section (each Permittee entered as a separate contact - do not list 2 names in 1 field) Yes

Is the project site within a right of way? No

Are you submitting evidence of legal authority to apply in lieu of the Property Owner's Signature? If yes, please attach a document 'Evidence of Legal Authority' in the document section No

I hereby attest that I have listed all the Property Owners in the Application Contacts section Yes

I hereby attest that I have listed all the Abutters in the above Contact table section Yes

Application Type

Please select the application type you are applying for Residential with less than or equal to 4 units

Project Information

Brief Description of Project (e.g., dock, seawall, boat ramp, Harborwalk – if a longer narrative is to be provided, please upload a separate document) Construct and maintain a pier and float in the Westport River (East Branch). Repair existing solid filled pier.

Brief Description of Project Location - Non-Traditional Address (e.g., 'west end Toronto Avenue right-of-way at Gloucester Harbor' DO NOT complete this field if your project has a traditional address - enter N/A) N/A

Proposed Use/Activity description Construct and maintain a pier and float in the Westport River (East Branch). Repair existing solid filled pier.

Is this site subject to 21E? No

Does the project exceed the MEPA review thresholds for Waterways standards? No

Is the Project site in an Environmental Justice Community? No

Which Wetlands Protection Act process document are you attaching? WPA Notice of Intent

Has there ever been a waterways jurisdictional determination issued for this project site? No



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Rebecca L. Tepper
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Bonnie Heiple
Commissioner

Does your project require a 401 water quality certificate? If yes, please attach if currently available, a copy of '401 Water Quality Certificate' in the document section.

No

Are you seeking a Variance? If yes, please attach a supporting evidence of compliance with 310 CMR 9.21, 'Variance Supplement' in the document section.

No

Is the project located within the Designated Port Area? If yes, please review the standards at 310 CMR 9.12 and 9.32.

No

Is the project located within an area subject to State Approved Municipal Harbor Plan? If yes, please attach supporting evidence of compliance with applicable MHP, 'MHP Supplement' in the document section.

No

Are you seeking a CWD (consolidated written determination) in accordance with 310 CMR 9.14(4)? If yes, please attach a document 'CWD Supplement' in the document section.

No

Does your project involve dredging?

No

Documents

Documents

Required Documents:

1. Chapter 91 Plans
2. List of Environmental Regulatory Programs
3. WPA Notice of Intent

Special Fee Provision

Exemption

Exclusion (special agreement or policy)

Substitution (ASP/IRP)

Double Fee for Enforcement

Hardship payment extension request



Department of Environmental Protection

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Maura T. Healey
Governor

Kimberley Driscoll
Lieutenant Governor

Rebecca L. Tepper
Secretary

Bonnie Heiple
Commissioner

Application Contacts

Name	Organization Name	Contact Person	Telephone #	Contact Type	Email
STEVEN, GIOIOSA	n/a	n/a	(508) 998-2125	Application Prepared By	sgioiosa@sitec-enginee ring.com
MICHAEL, TORTORA	n/a	n/a	(774) 501-2176	Application Prepared By	mtortora@cecinc.com



Department of Environmental Protection

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Kimberley Driscoll
Lieutenant Governor

Rebecca L. Tepper
Secretary

Bonnie Heiple
Commissioner

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MAP 83 LOT 26

CHALES & PAMELA TRIPPE
12376 NORTH A-1-A VERO
BEACG, FL

MAP 83 LOT 17

ROBERT, ELIZ&JOHN STREETEN
177 FIELD STREET
CORNING, NY 14830

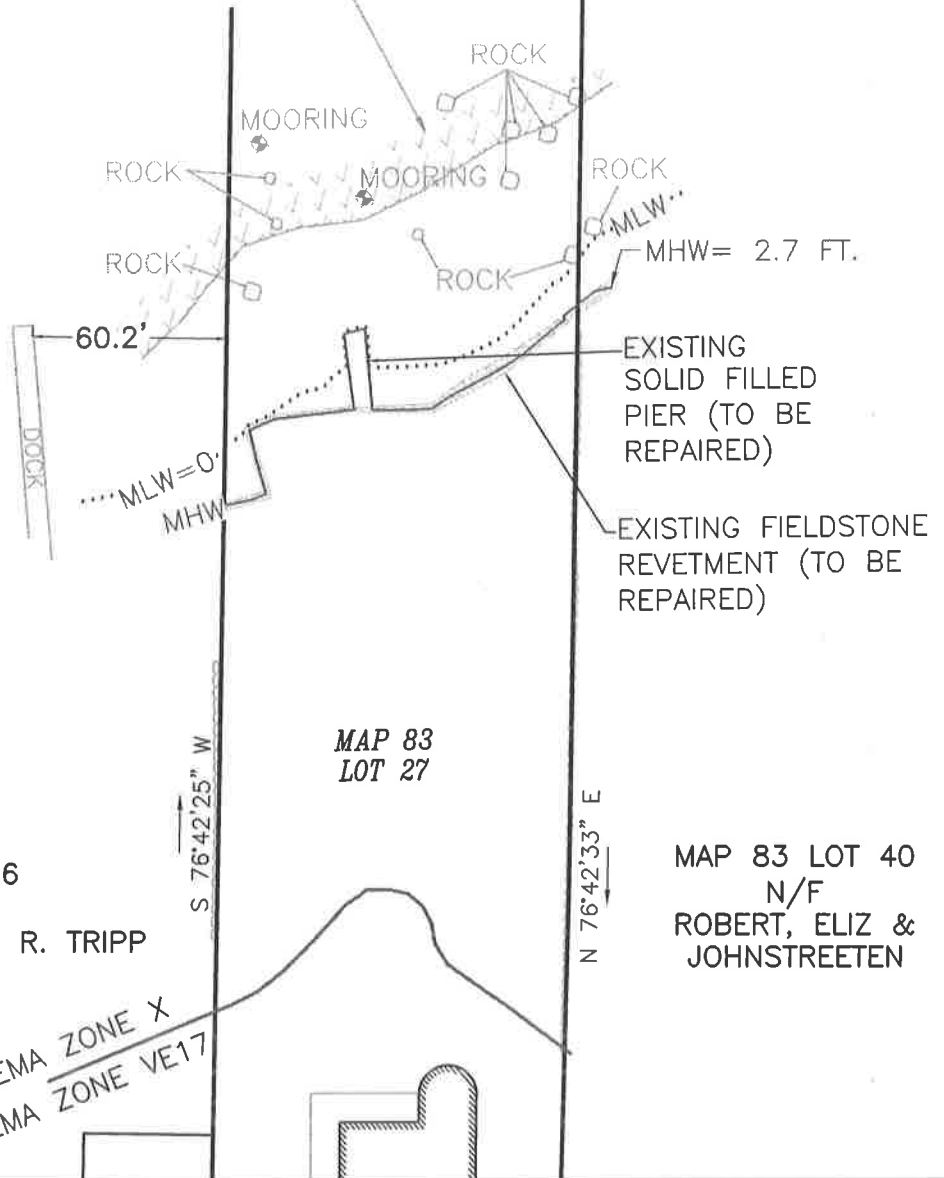


NORTH



WESTPORT RIVER

EXTENTS OF SURVEYED EELGRASS BEDS
(EXTENDS OUT TO RIVER)



LOCUS MAP
1" = 1000'

SHEET 1 OF 4
TITLE SHEET

APRIL 11, 2023

SCALE: 1" = 60'



PLAN TO ACCOMPANY PETITION OF
CAROLINE CHRISTIANO, 21 VALENTINE LANE,
TO CONSTRUCT AND MAINTAIN A PIER AND
FLOAT IN AND TO REPAIR STONE WALL IN
WESTPORT RIVER, WESTPORT, BRISTOL
COUNTY

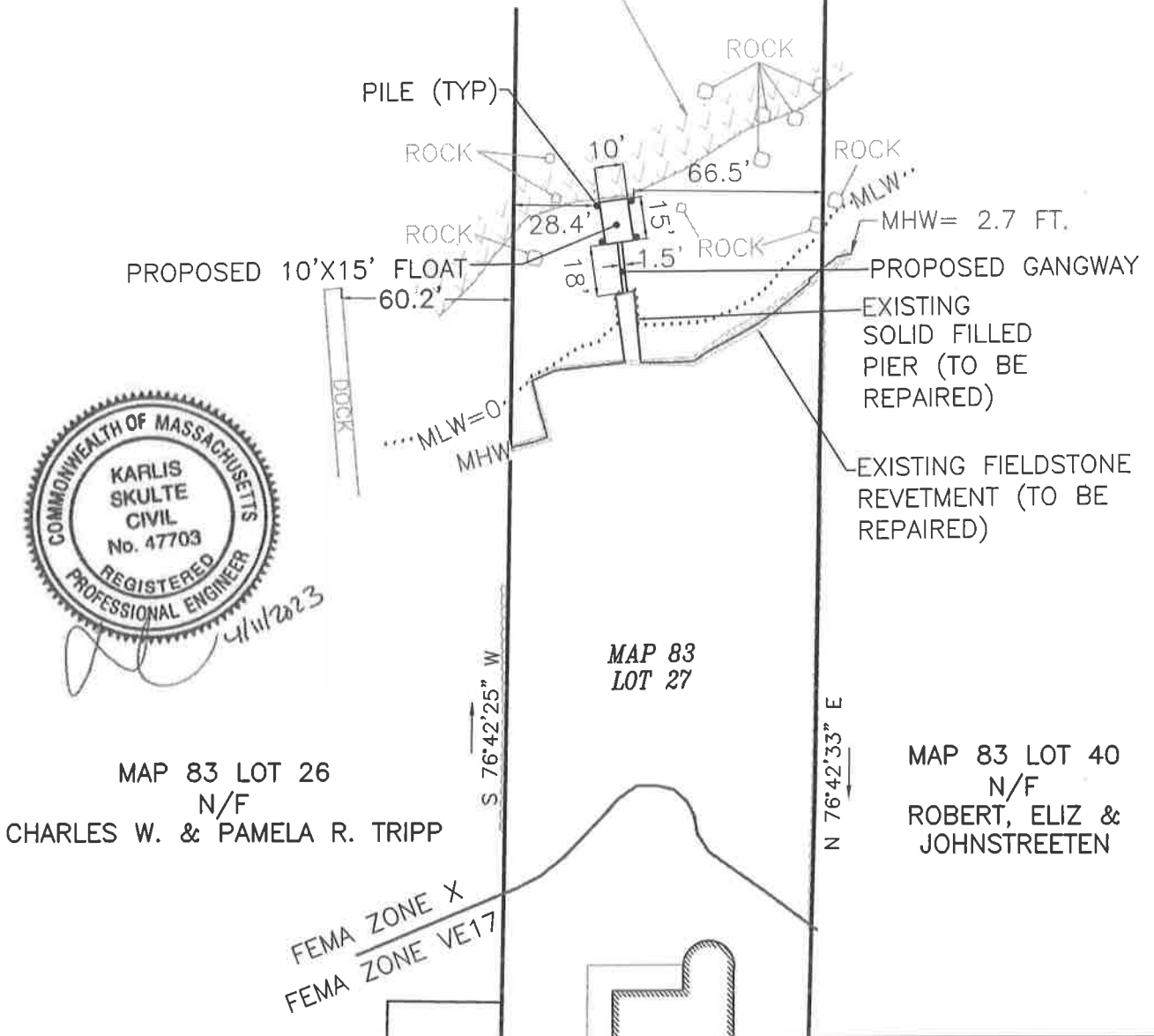
LAT 41.51932"N LONG -71.07392"W
21 VALENTINE LANE
TOWN OF WESTPORT, BRISTOL COUNTY,
MASSACHUSETTS



ALL ELEVATIONS ARE BASED
UPON MLW=0.0

WESTPORT RIVER

EXTENTS OF SURVEYED EELGRASS BEDS
(EXTENDS OUT TO RIVER)



SHEET 2 OF 4 PROPOSED CONDITIONS (PROPOSED DOCK)

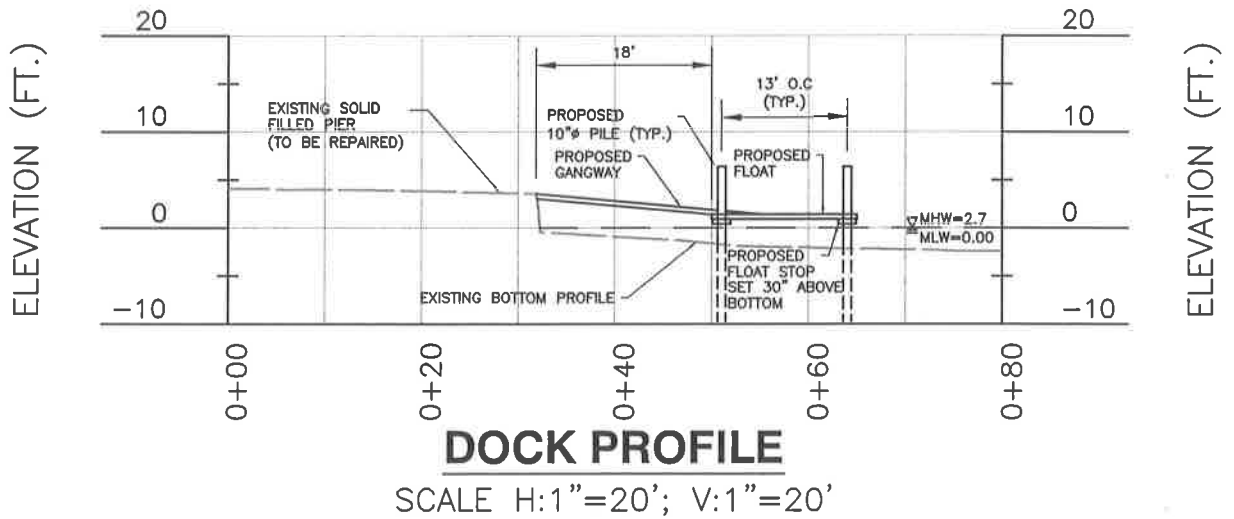
APRIL 11, 2023

SCALE: 1" = 60'

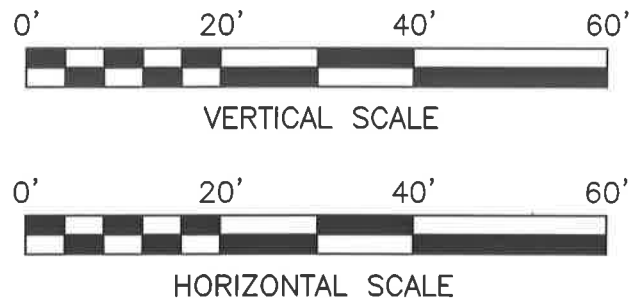
PLAN TO ACCOMPANY PETITION OF
CAROLINE CHRISTIANO, 21 VALENTINE LANE,
TO CONSTRUCT AND MAINTAIN A PIER AND
FLOAT IN AND TO REPAIR STONE WALL IN
WESTPORT RIVER, WESTPORT, BRISTOL
COUNTY

LAT 41.51932"N LONG -71.07392"W
21 VALENTINE LANE
TOWN OF WESTPORT, BRISTOL COUNTY,
MASSACHUSETTS





SHEET 3 OF 4
PROPOSED PROFILE
APRIL 11, 2023 SCALE: AS SHOWN
PLAN TO ACCOMPANY PETITION OF
CAROLINE CHRISTIANO, 21 VALENTINE LANE,
TO CONSTRUCT AND MAINTAIN A PIER AND
FLOAT IN AND TO REPAIR STONE WALL IN
WESTPORT RIVER, WESTPORT, BRISTOL
COUNTY
LAT 41.51932"N LONG -71.07392"W
21 VALENTINE LANE
TOWN OF WESTPORT, BRISTOL COUNTY,
MASSACHUSETTS





4/11/2023

3/4" GALVANIZED
BOLT (TYP.)

CROSS BRACING TO
BE INSTALLED ABOVE
HIGH WATER

1"x6" PRESSURE
TREATED DECKING

2"x10"
STRINGER
(TYP.)

2"x6"
CROSS BRACE
(EACH SIDE
OF PILE)

PILING CAPS

ROPE RAIL

1"x6"
DECKING

1" SPACING

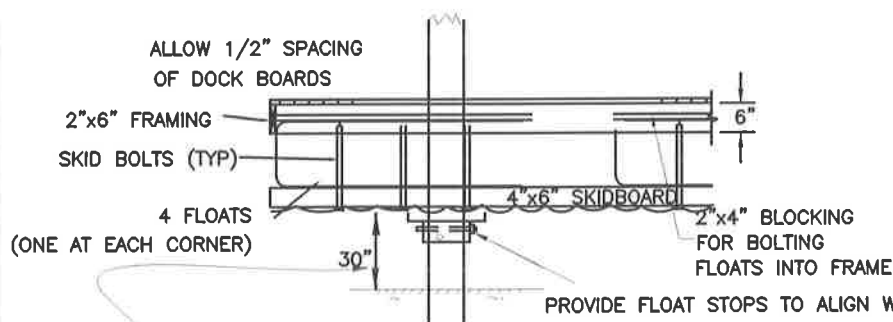
10" PILE

END SECTION

SIDE SECTION

FIXED DOCK SECTIONS

NOT TO SCALE



2.5'± AT MLW FOR
PROPOSED FLOAT SYSTEM

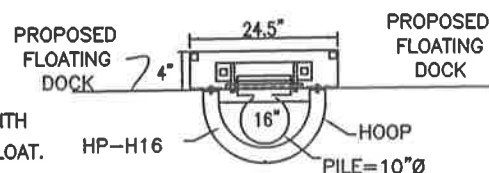
PROVIDE FLOAT STOPS TO ALIGN WITH
OUTER STRUCTURAL MEMBER OF FLOAT.
STOPS REQUIRED ON ALL PILES.
SET 30" ABOVE BOTTOM.

NOTE:

FLOATS MUST NOT BE
CONSTRUCTED OF EPS
OR BE ENCAPSULATED.

30'x10' FLOAT DETAIL

NOT TO SCALE



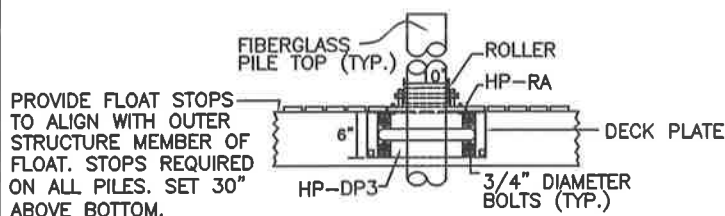
PLAN VIEW - PILE HOOP

NOT TO SCALE

1. TIMBER PILES SHALL BE NON CCA LUMBER PILES OF 10" DIAMETER.
2. 10" DIAMETER WOOD PILES TO BE DRIVEN A MINIMUM DEPTH NEEDED TO AVOID UPLIFT.
3. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.
4. DATUM BASED ON MEAN LOW WATER.
5. ALL CONSTRUCTION SHALL MEET ALL LOCAL BUILDING CODE REQUIREMENTS FOR RESIDENTIAL DECKING AND CONSTRUCTION.
6. PILE SLEEVES SHALL BE USED WHERE NEEDED TO PREVENT ICE DAMAGE.
7. ALL DISTURBED LAWN AREAS SHALL BE LOAM & SEEDED UPON COMPLETION OF CONSTRUCTION.
8. MATERIALS SHALL NOT BE STOCKPILED ON THE COASTAL BEACH OR ADJACENT RESOURCE AREAS.

SHEET 4 OF 4 DETAIL SHEET

APRIL 11, 2023 SCALE: AS SHOWN
PLAN TO ACCOMPANY PETITION OF
CAROLINE CHRISTIANO, 21 VALENTINE LANE,
TO CONSTRUCT AND MAINTAIN A PIER AND
FLOAT IN AND TO REPAIR STONE WALL IN
WESTPORT RIVER, WESTPORT, BRISTOL
COUNTY
LAT 41.51932"N LONG -71.07392"W
21 VALENTINE LANE
TOWN OF WESTPORT, BRISTOL COUNTY,
MASSACHUSETTS



ELEVATION - PILE HOOP

NOT TO SCALE