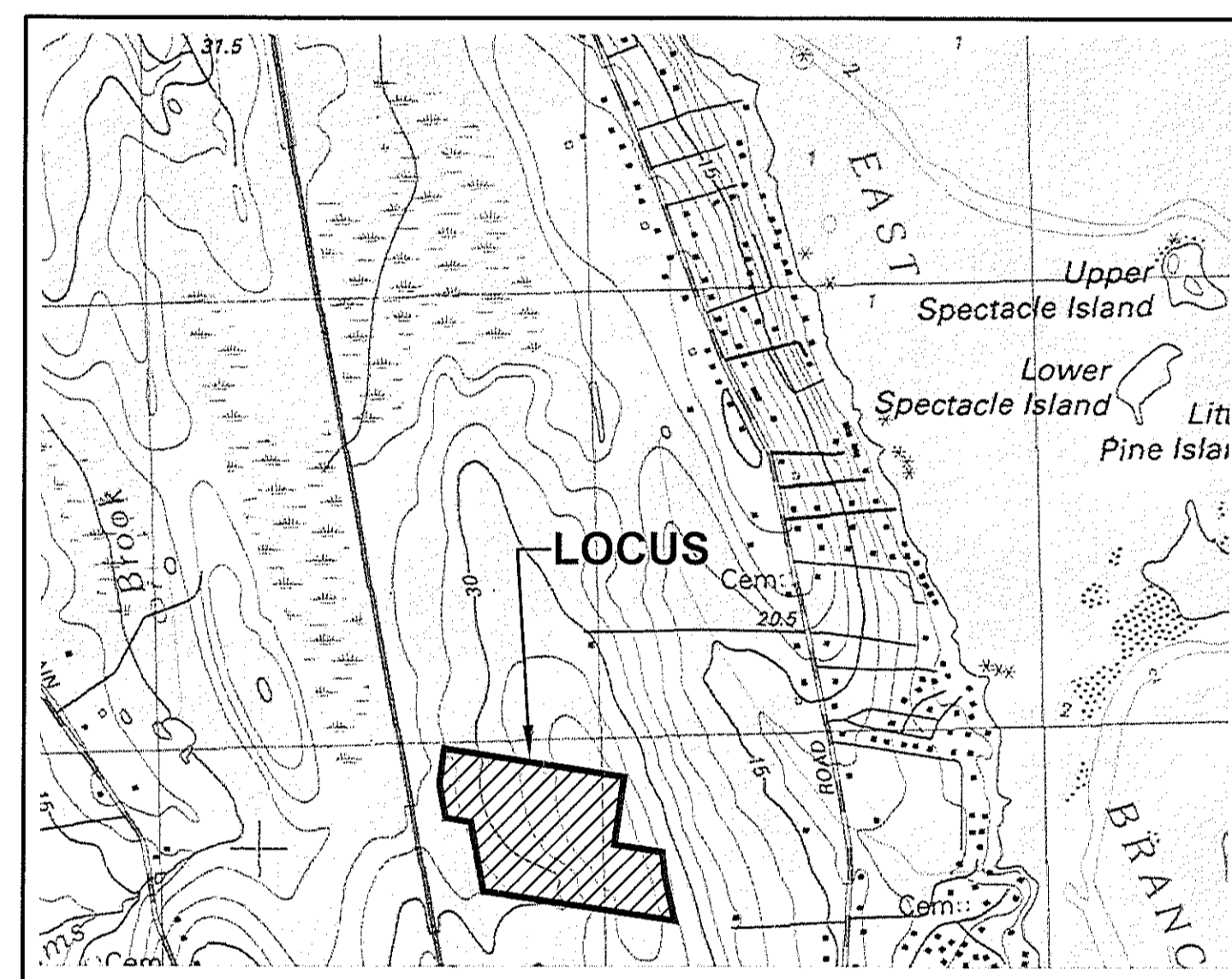


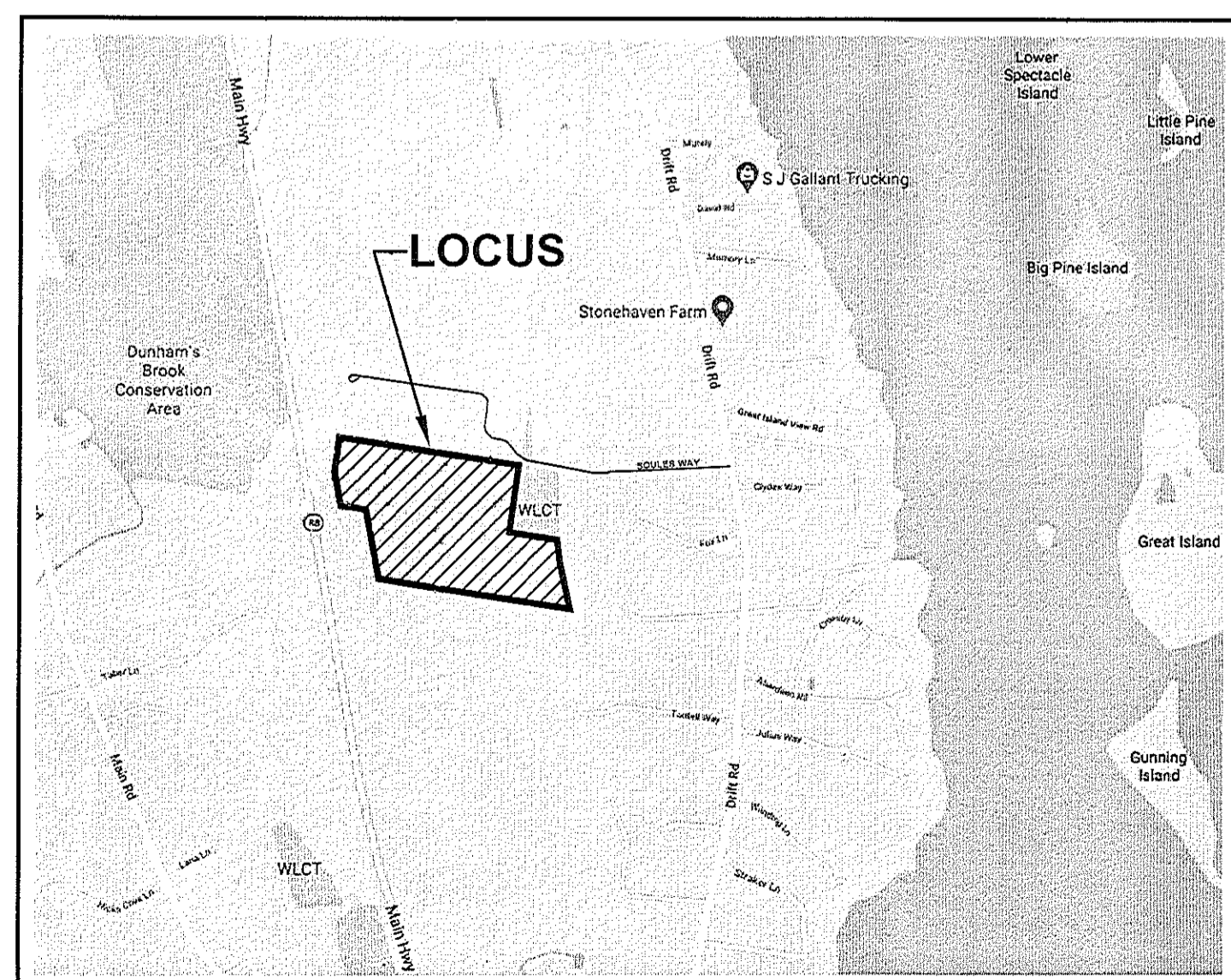
# SITE DEVELOPMENT PLANS FOR SOULES WAY SOLAR PROJECT

LOCATED AT  
0 SOULES WAY  
WESTPORT, MASSACHUSETTS 02790

DATE: JULY 9, 2020



VICINITY MAP  
1" = 1,200'



LOCUS MAP  
1" = 1,200'



OVERALL LOCATION PLAN  
SCALE: 1" = 200'

INDEX OF PLANS		
SHEET NO.	TITLE	SCALE
1	COVER SHEET	1" = 150'
2	OVERALL EXISTING CONDITIONS PLAN	1" = 100'
3	OVERALL SITE DEVELOPMENT PLAN	1" = 100'
4	SITE DEVELOPMENT PLAN	1" = 40'
5	SITE DEVELOPMENT PLAN	1" = 40'
6	DETAIL PLAN	N.T.S.

## OWNER:

PERRY, DANIEL C.  
388 COUNTRY STREET 2ND FL  
NEW BEDFORD, MA 02740

## APPLICANT:

CVE NORTH AMERICA  
109 W. 27TH STREET, 8TH FLOOR  
NEW YORK, NY 10001

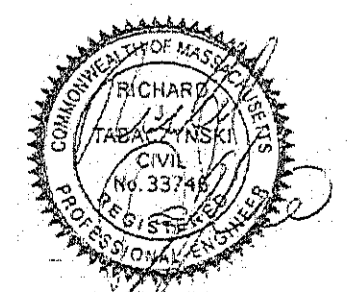
## ENGINEER:

**Atlantic**<sup>®</sup>  
DESIGN ENGINEERS, INC.  
P.O. Box 1051, Sandwich, MA 02563  
PHONE NUMBER: (508) 888-9282

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JUL 10 2020

WESTPORT  
PLANNING BOARD



FILE: 3150.01-SITE

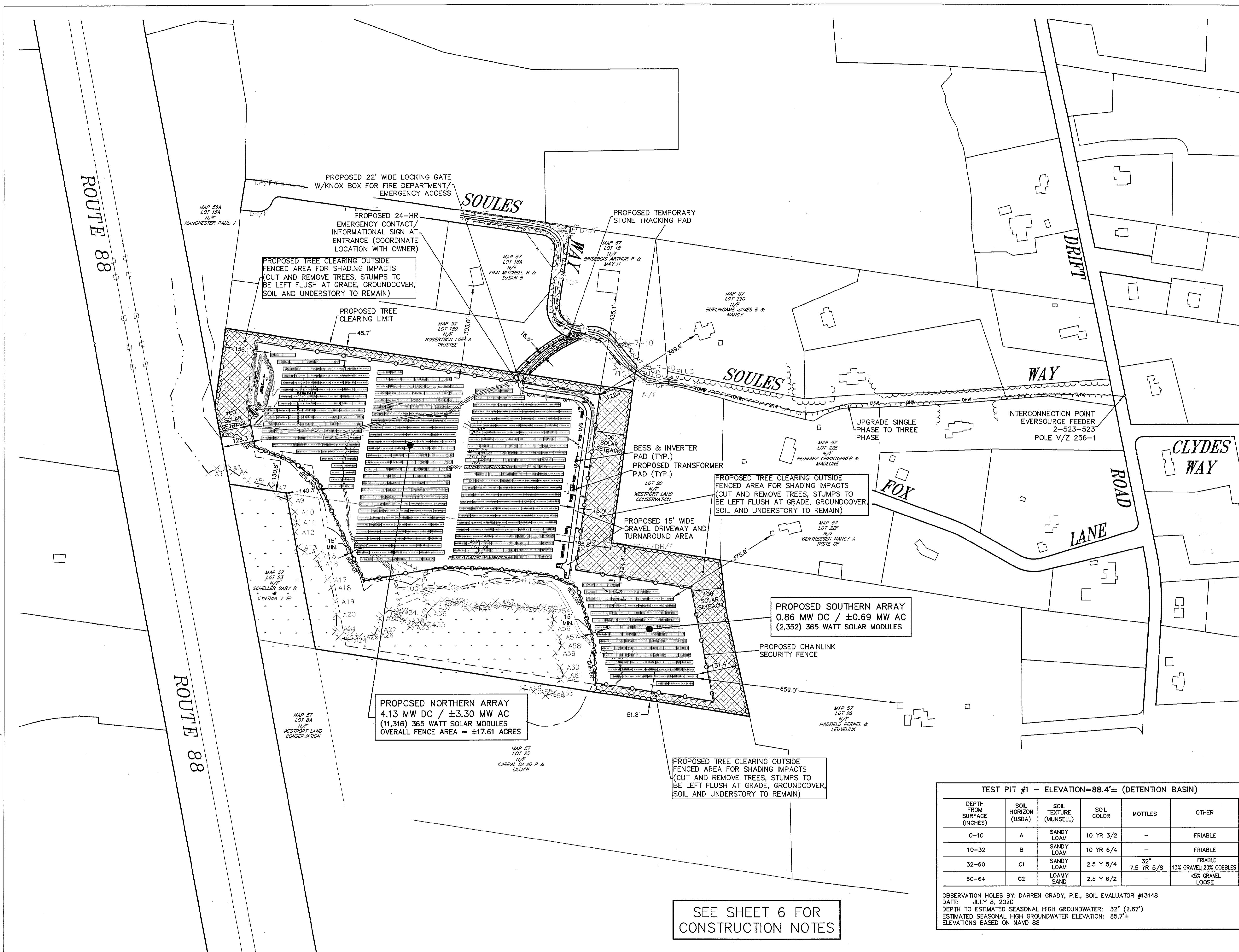
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AD-0055P



LEGEND	
FOG	EXISTING EDGE OF GRAVEL
---	EXISTING EDGE OF CART PATH
OH	EXISTING OVERHEAD WIRES
---	EXISTING 1 FOOT CONTOUR LINE
115	EXISTING 5 FOOT CONTOUR LINE
---	EXISTING TREE LINE
---	EXISTING STONE WALL
---	EXISTING UTILITY POLE
---	EDGE OF BORDERING VEGETATED WETLANDS W/FLAG
---	EXISTING 100' WETLAND BUFFER
---	SURVEY MONUMENTS

- GENERAL NOTES:**
- OWNER OF RECORD:  
DANIEL C. PERRY, TRUSTEE  
388 COUNTY STREET  
NEW BEDFORD, MA 02740  
BOOK 9615 PAGE 132  
BOOK 9613 PAGE 1
  - THE SUBJECT PROPERTY IS SHOWN AS LOT 19 & 24 ON THE TOWN OF WESTPORT'S ASSESSOR MAP 57, LAND AREA IS APPROXIMATELY 31.2± ACRES COMBINED.
  - THE PROPERTY LIES WITHIN AN RESIDENTIAL/AGRICULTURAL DISTRICT BASED UPON A REVIEW OF THE TOWN OF WESTPORT ZONING MAP AND PROPERTY CARD.
  - THE PROPERTY LINES SHOWN HEREON, ARE BASED UPON PLAN BOOK 166 PAGE 50 AND A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS IN MAY AND JUNE OF 2020.
  - EXISTING CONDITIONS DEPICTED HEREON ARE BASED UPON A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS IN MAY AND JUNE OF 2020. SURVEY DATUMS ARE BASED UPON THE NORTH AMERICAN DATUM OF 1983 (NAD83) AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
  - THE PROPERTY LIES WITHIN A FLOOD ZONE X BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 25005C0462F, DATED JULY 7, 2009.
  - THE WETLAND RESOURCE AREAS SHOWN HEREON WERE DELINEATED BY WENDELL WETLAND SERVICES IN OCTOBER 2019 AND LOCATED BY A FIELD SURVEY BY ATLANTIC DESIGN ENGINEERS IN OCTOBER 2019.
  - THE PROPERTY IS NOT LOCATED WITHIN A ZONE II BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
  - THE PROPERTY IS NOT LOCATED WITHIN AN ESTIMATED AND HABITAT OF RARE WILDLIFE OR A PRIORITY HABITAT OF RARE SPECIES BASED UPON A REVIEW OF THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM MAPS OBSERVED ON THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.
  - THE PROPERTY DOES NOT LIE WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC) BASED UPON A REVIEW OF THE MASSACHUSETTS GEOGRAPHIC INFORMATION SYSTEM.



LEGEND	
	EXISTING EDGE OF GRAVEL
	EXISTING EDGE OF CART PATH
	EXISTING OVERHEAD WIRES
	EXISTING 1 FOOT CONTOUR LINE
	EXISTING 5 FOOT CONTOUR LINE
	EXISTING TREE LINE
	EXISTING STONE WALL
	EXISTING UTILITY POLE
	EDGE OF BORDERING VEGETATED WETLANDS W/FLAG
	EXISTING 100' WETLAND BUFFER
	SURVEY MONUMENTS
	PROPOSED CHAIN LINK FENCE
	PROPOSED 1 FOOT CONTOUR LINE
	PROPOSED 5 FOOT CONTOUR LINE
	PROPOSED DRAINAGE LINE
	PROPOSED UNDERGROUND UTILITY
	PROPOSED OVERHEAD UTILITY
	PROPOSED EROSION CONTROL
	PROPOSED TREE LINE
	PROPOSED UTILITY POLE

<u>ZONING REQUIREMENTS</u>		
TOWN OF WESTPORT ZONING BYLAWS; MARCH 11, 2020		
<u>RESIDENTIAL/AGRICULTURAL DISTRICT</u>		
MINIMUM LOT SIZE	<u>REQUIRED</u> 60,000 sq.ft.	<u>PROVIDED</u> ±2,160,308 sq.ft.
MINIMUM LOT FRONTAGE	150'	68.2'
MINIMUM YARDS:		
FRONT YARD	25'	45.7' TO PANELS
SIDE YARD	25'	137.4' TO PANELS
REAR YARD	25'	51.8' TO PANELS
MAXIMUM BUILDING HEIGHT	40'	<35'
MAXIMUM LOT COVERAGE	25%	±2.1%
MAXIMUM BUILDING COVERAGE	50%	±0.97%
<u>LARGE SCALE GROUND MOUNTED SOLAR PHOTOVOLTAIC INSTALLATION</u>		
	<u>REQUIRED</u>	<u>PROVIDED</u>
MINIMUM YARDS:		
FRONT YARD	100'	*45.7' TO PANELS
SIDE YARD	100'	137.4' TO PANELS
REAR YARD	100'	*51.8' TO PANELS
MINIMUM STREET LINE SETBACK:	250'	*122.1'
MINIMUM WETLAND SETBACK:	100'	100'
MINIMUM PROTECTED OPEN SPACE:	25%	42.8%
MAXIMUM HEIGHT:	15'	15'
MAXIMUM CLEARING AREA:	16 ACRES	*23.0 ACRES

\* WAIVER REQUESTED

NOTES:

1. THE ELECTRICAL LAYOUT/DESIGN, PANEL AND EQUIPMENT PAD LAYOUT/DESIGN SHOWN HEREON ARE BASED UPON AN ELECTRONIC (CAD) FILE PROVIDED BY THE CLIENT.
2. ALL PANEL SETBACKS SHOWN ARE IN REFERENCE TO WESTPORT ZONING ARTICLE 9.6.3H—LARGE SCALE SOLAR ENERGY SYSTEMS.

TEST PIT #2 – ELEVATION=88.1± (DETENTION BASIN)					
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON (USDA)	SOIL TEXTURE (MUNSELL)	SOIL COLOR	MOTTLES	OTHER
0-8	A	SANDY LOAM	10 YR 3/2	—	FRIABLE
8-14/28	B	SANDY LOAM	10 YR 6/4	—	FRIABLE <5% GRAVEL
14/28-80	C	LOAMY SAND	2.5 Y 6/2	28* 7.5 YR 5/8	FRIABLE 5% GRAVEL;15% COBBLE

OBSERVATION HOLES BY: DARREN GRADY, P.E., SOIL EVALUATOR #13148  
DATE: JULY 8, 2020  
DEPTH TO ESTIMATED SEASONAL HIGH GROUNDWATER: 28" (2.33')  
ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION: 85.8'±  
ELEVATIONS BASED ON NAVD 88

TEST PIT #1 - ELEVATION=88.4'± (DETENTION BASIN)					
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON (USDA)	SOIL TEXTURE (MUNSELL)	SOIL COLOR	MOTTLES	OTHER
0-10	A	SANDY LOAM	10 YR 3/2	-	FRIABLE
10-32	B	SANDY LOAM	10 YR 6/4	-	FRIABLE
32-60	C1	SANDY LOAM	2.5 Y 6/4	32* 7.5 YR 5/8	FRIABLE 10% GRAVEL; 20% COBBLE
60-64	C2	LOAMY SAND	2.5 Y 5/2	-	<5% GRAVEL

OBSERVATION HOLES BY: DARREN GRADY, P.E., SOIL EVALUATOR #13148  
DATE: JULY 8, 2020  
DEPTH TO ESTIMATED SEASONAL HIGH GROUNDWATER: 32" (2.67')  
ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION: 85.7'±  
ELEVATIONS BASED ON NAVD 88

TEST PIT #3 - ELEVATION=122.4'± (INFILTRATION TRENCH)					
DEPTH FROM SURFACE (INCHES)	SOIL HORIZON (USDA)	SOIL TEXTURE (MUNSELL)	SOIL COLOR	MOTTLES	OTHER
0-9	A	SANDY LOAM	10 YR 3/2	-	FRIABLE
9-28	B	SANDY LOAM	10 YR 6/4	-	FRIABLE ≤5% GRAVEL
28-66	C	SANDY LOAM	2.5 Y 5/4	28" 7.5 YR 5/8	FRIABLE ≤5% GRAVEL

OBSERVATION HOLES BY: DARREN GRADY, P.E., SOIL EVALUATOR #13148  
DATE: JULY 8, 2020  
DEPTH TO ESTIMATED SEASONAL HIGH GROUNDWATER: 28" (2.33')  
ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION: 120.0'±  
ELEVATIONS BASED ON NAVD 88

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PLANNING BOARD FILE: 3150.01-SITE

OVERALL SITE DEVELOPMENT PLAN  
FOR  
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SOULES WAY, WESTPORT, MA  
JULY 9, 2020

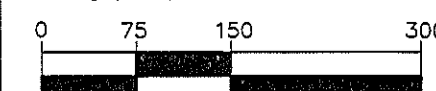
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Designed by : \_\_\_\_\_  
 Drawn by : \_\_\_\_\_  
 Checked by : \_\_\_\_\_  
 Survey chk. by : \_\_\_\_\_  
 Approved by : \_\_\_\_\_

SCALE

SCALE 1" = 150'



DATE

NO.	BY	DATE	REVISION
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APPLICANT:  
CVE NORTH AMERICA  
109 W. 27TH STREET, 8TH FLOOR  
NEW YORK, NY 10001

OVERALL SITE DEVELOPMENT PLAN  
FOR  
SOULES WAY SOLAR PROJECT  
SOULES WAY, WESTPORT, MA  
JULY 9, 2020



SEE SHEET 3 FOR LEGEND  
AND SHEET 6 FOR  
CONSTRUCTION NOTES

SEE SHEET 5

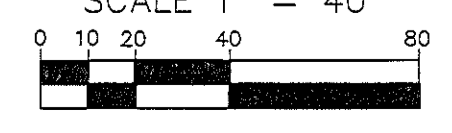


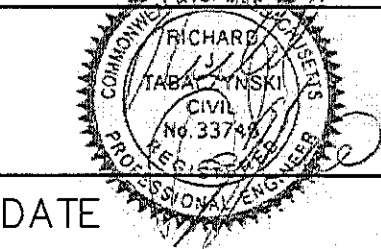
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P.O. Box 1051, Sandwich, MA 02563 (508) 888 - 9282

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Drawn by :  
Checked by :  
Survey chg. by :  
Approved by :

SCALE

SCALE 1" = 40'





NO.	BY	DATE	REVISION

APPLICANT:  
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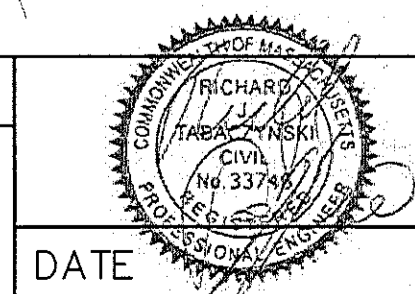
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Survey chk. by :  
Approved by :

SCALE  
SCALE 1" = 40'  
0 10 20 40 80



NO.	BY	DATE	REVISION

APPLICANT:  
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