

COMMERCIAL PROJECT - EXPANSION PLAN

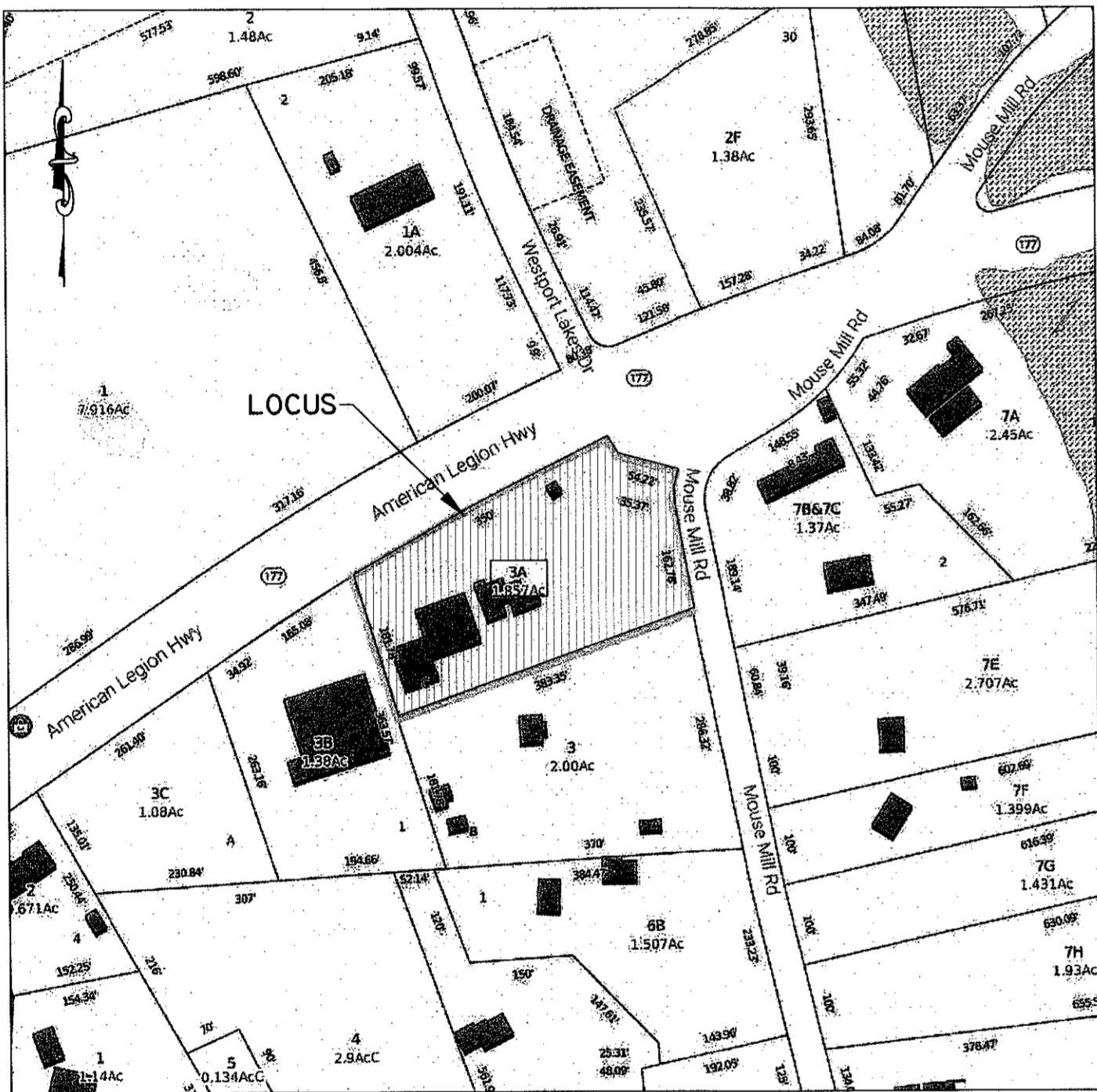
5-STAR COLLISION CENTER

683A AND 683B AMERICAN LEGION HIGHWAY (ROUTE 177)
ASSESSOR'S PLAT 35 LOT 3A
WESTPORT, MASSACHUSETTS

RECEIVED

SEPTEMBER 28, 2020

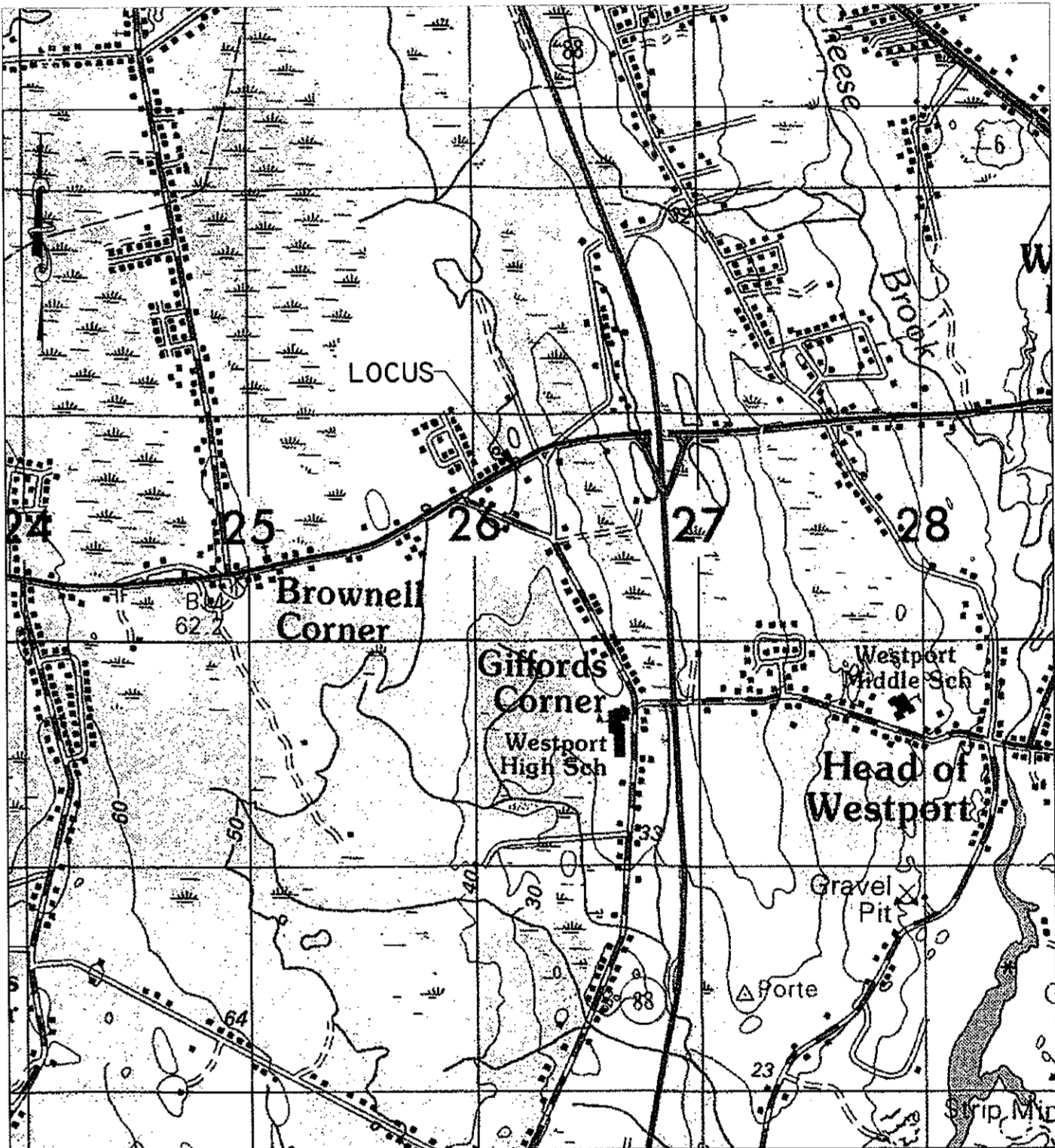
WESTPORT
PLANNING BOARD



ASSESSORS MAP
NOT TO SCALE

SHEET INDEX

- SHEET 1 COVER SHEET
- SHEET 2 EXISTING CONDITIONS PLAN
- SHEET 3 PROPOSED SITE PLAN - LAYOUT, DESCRIPTIONS, AND BOARD OF HEALTH CERTIFICATION
- SHEET 4 PROPOSED SITE PLAN - GRADING
- SHEET 5 DETAIL SHEET - SEPTIC SYSTEM AND EROSION CONTROL
- SHEET 6 DETAIL SHEET - STORM DRAINAGE AND LIGHTING DETAILS



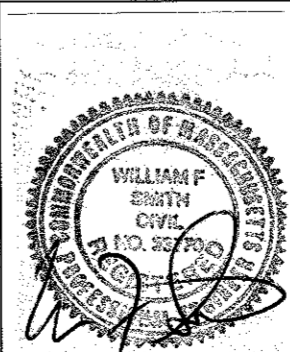
USGS LOCUS MAP
1" = 2083'±

PLANNING BOARD SIGNATURES

DATE: _____

REQUESTED WAIVERS:
THE FOLLOWING WAIVERS ARE REQUESTED FROM THE TOWN OF WESTPORT PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND:
1) SECTION IV, PART D, #11: WAIVER OF UP TO 38' FROM THE 50' SETBACK REQUIREMENT FROM THE PROPERTY LINE TO THE DETENTION BASIN. (PROPOSAL IS FOR THE DETENTION BASIN TO BE SET BACK 12' FROM THE SOUTHERLY SIDE PROPERTY LINE AND 26' FROM THE STREET LINE OF MOUSE MILL ROAD.)

NOTES:
1) OWNER: RUSSELL OAGLES, JR. AND ANTONIO RODRIGUES
683A AMERICAN LEGION HIGHWAY
WESTPORT, MA 02790
2) APPLICANT: RUSSELL OAGLES, JR.
683A AMERICAN LEGION HIGHWAY
WESTPORT, MA 02790



9/28/20: DELETE SHEET 7, DELETE RUNOFF VARIANCE
7/21/20: NO REVISIONS THIS SHEET
6/9/20: ADD SHEET 7
REVISIONS:

COVER SHEET
PREPARED FOR
5 STAR COLLISION CENTER
ASSESSOR'S PLAT 35 LOT 3A
683A & 683B AMERICAN LEGION HIGHWAY
WESTPORT, MASSACHUSETTS

SCALE: 1" = 20' DATE: NOVEMBER 20, 2019

Civil Engineering Concepts, Inc.
34A MAIN STREET
LITTLE COMPTON, RI 02857
PH: (401) 592-0177
FAX: (401) 592-0178
EMAIL: wsmithccc@aol.com

P.O. BOX 5323
NEW BEDFORD, MA 02742
(508) 990-4900

SHEET 1 OF 6 JOB#: 13-139

NOTE:
UNDERGROUND UTILITIES SHOWN ARE BASED ON
EXPIRED DIG-SAFE MARKINGS AND SURVEY LOCATIONS
OF EXPOSED UTILITY COVERS. NO EXCAVATION SHOULD
BE PERFORMED PRIOR TO OBTAINING CURRENT DIG-SAFE
UTILITY IDENTIFICATIONS

BENCHMARK = SPIKE
IN UTILITY POLE
= ELEV. 94.04 (ASSUMED DATUM)

WESTPORT LAKES DRIVE
(ESTATES AT WILDLAND
RESERVE)

MA HIGHWAY BOUND FOUND
STA 135+47.89 PC

MA ROUTE 177 - AMERICAN LEGION HIGHWAY

HORSENECK SALES DISPLAY AND CUSTOMER
PARKING (APPROXIMATE LAYOUT - AREA
CURRENTLY UNLINED) 18 SPACE CONFIGURATION
MATCHES (TO BEST EXTENT POSSIBLE) PLANNING
BOARD 2009 RECORD PLAN PREPARED BY OTHERS.
REFER TO SHEET #2 FOR ADJUSTMENTS TO
CONFIGURATION

MAGNETIC - 2014

LEGEND

- EXISTING CONTOUR
- EXIST. STONE WALL
- EXIST. UNLINED PARKING SPACES
- EXIST. ELEC. SERVICE
- EXIST. NATURAL GAS LINE
- EXIST. CHAIN LINK FENCE
- EXIST. WOOD FENCE
- EXIST. DOWNSPOUT
- EXIST. TREE (W/ TRUNK SIZE)
- EXIST. ARBORVITAE
- EXIST. WELL
- EXIST. UTILITY POLE

PLANNING BOARD SIGNATURES

DATE:

ALTERNATE BENCHMARK =
CORNER OF EXISTING CONCRETE
APRON = ELEV. 95.86

WELL AND SEPTIC SYSTEM
FOR #683 OBTAINED FROM
WESTPORT BOARD OF HEALTH
RECORD AS-BUILT PLAN

LOT 3B
N/F AMA ENGINEERING, LLC

2010 (WITNESSED) SOIL
EVALUATIONS INDICATED WATER
TABLES AT 34" TO 40" BELOW
GRADE

0' 20' 40' 60'

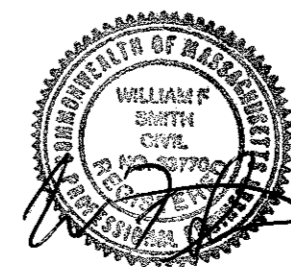
1" = 20'

LOT 3
N/F MAUEL & ELAINE FARIAS

APPROXIMATE
LOCATION OF
DWELLING
(203 MOUSE
MILL ROAD)

WELL AND SEPTIC SYSTEM
FOR #203 OBTAINED FROM
WESTPORT BOARD OF HEALTH
RECORD PLANS

EXISTING GRAVEL IMPOUNDMENT AREA NOTE:
THE EXISTING FENCED IN AREA WILL NOT BE ALTERED RELATIVE
TO LOCATION AND DIMENSIONS, NOR WILL THE USE CHANGE. THE
EXISTING THIN LAYER OF 1/2" TO 3/4" STONE WITH BE ENHANCED
WITH UP TO 8" OF SIMILAR STONE, COMPACTED, TO ALLOW FOR
RUNOFF TO THE PROPOSED FOREBAY.



9/28/20 Add Mouse Mill Rd contours
7/21/20 No changes this sheet
6/4/20 Adjust labeling of structures to be
removed, sheet numbering, add Horseneck
sales parking, impoundment area gravel note
REVISIONS:

EXISTING CONDITIONS PLAN
PREPARED FOR

5 STAR COLLISION CENTER
ASSESSOR'S PLAT 35 LOT 3A
683A & 683B AMERICAN LEGION HIGHWAY
WESTPORT, MASSACHUSETTS

SCALE: 1" = 20'

DATE: NOVEMBER 20, 2019

Civil Engineering Concepts, Inc.

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(508) 990-4900
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SHEET 2 OF 6

JOB#: 13-139

PARKING REQUIREMENT:
6,525 SF = EXISTING AUTO BODY SHOP BUILDING
8,174 SF = PROPOSED WAREHOUSE / STORAGE BUILDING INCLUDING EMPLOYEE
BATHROOM AND COVERED CONCRETE CONNECTOR / WALKWAY

14,699 SF

14,699 x 1.5 SPACES PER 1,000 SF = 22 SPACES

18 EMPLOYEES (MAX. FOR BOTH BLDGS.) x 0.5 SPACE PER EMPLOYEE = 9 SPACES

TOTAL REQUIRED SPACES = 31

18 TOTAL DISPLAY & CUSTOMER PARKING SPACES AT HORSENECK SALES
(AS INDICATED ON PLANNING BOARD RECORD PLAN FROM PRIOR FILING BY OTHERS)

PARKING SPACES PROVIDED:

28 AUTO BODY BUSINESS SPACES IN PARKING LOT
15 AUTO BODY BUSINESS SPACES IN SECURED VEHICLE PARKING/STORAGE AREA
16 DISPLAY SPACES AT HORSENECK SALES
3 CUSTOMER SPACES AT HORSENECK SALES (INCLUDING 1 HANDICAP)

62 TOTAL SPACES PROVIDED

ROUTE 177 - AMERICAN LEGION HIGHWAY

HIGHWAY R.O.W.

LOT 3B
N/F AMA ENGINEERING, LLC

EXISTING ASPHALT
PARKING AREA TO REMAIN
(9.5' x 19' PARKING
SPACES TO BE LINED)

#683
COMMERCIAL
BUILDING

LOT 3B
N/F AMA ENGINEERING, LLC



EXISTING CONTOUR
PROPOSED CONTOUR
EXIST. ELEC. SERVICE
EXIST. NATURAL GAS LINE
PROPOSED TREE
PROPOSED SHRUB
EXIST. TREE (W/ TRUNK SIZE)
EXIST. ARBORVITAE

EXIST. CHAIN LINK FENCE
EXIST. WOOD FENCE
PROPOSED EROSION CONTROL
PROPOSED DOWNSPOUT COLLECTION PIPING
EXIST. STONE WALL
EXIST. DOWNSPOUT
WELL (EXIST. OR PROPOSED AS LABELED)
EXIST. UTILITY POLE

LEGEND
SHEETS 3 AND 4

0' 20' 40' 60'
SCALE: 1" = 20'

BENCHMARK = SPIKE
IN UTILITY POLE
= ELEV. 94.04 (ASSUMED DATUM)

WESTPORT LAKES DRIVE
(ESTATES AT WILDLAND
RESERVE)

SISTERS OF
SOLACE
ENTRANCE

UP #72004

HIGHWAY CENTERLINE

PROPOSED PUMP SYSTEM ALARM / CONTROL
PANEL MOUNTED ON P.F. POSTS

PROPOSED RELOCATED 1500 GALLON SEPTIC TANK WITH
FILTER (TWO COVERS TO GRADE) AND 1000 GALLON PUMP
CHAMBER (PUMP ACCESS COVER TO GRADE). REFER TO
SEPTIC SYSTEM DETAILS ON SHEET #5

NO CHANGES PROPOSED
WITHIN AMERICAN LEGION
HIGHWAY LAYOUT

PROPOSED 124' x 9' PLANTING
ISLAND #1
(SEE CHART THIS SHEET)

PROPOSED POST LIGHT

PROPOSED POST LIGHT

9.5' x 19' PARKING
SPACES TO BE LINED
(TYPICAL)

PROPOSED TWO HANDICAP
PARKING SPACES W/
SIGNAGE

ROOF RUNOFF
COLLECTION DRAIN TO BE
SLEEVED (SEE
SH#5)

PROPOSED 4,085 SF
ASPHALT TO
REPLACE 920 SF
GRAVEL, 2,545 SF
LAWN AND 620 SF OF
ASPHALT WALKWAY

PROPOSED SCONCE LIGHTS
ON BUILDING (1 OF 4)

BLDG SEWER TO
BE SLEEVED (SEE
SH#5)

PROPOSED 6" ADS
(H-20 RATED)
DOWNSPOUT
COLLECTION PIPE

PROPOSED 8" ADS
DOWNSPOUT
COLLECTION PIPE

PROPOSED 8" ADS
DOWNSPOUT
COLLECTION PIPE

PROPOSED 8" ADS
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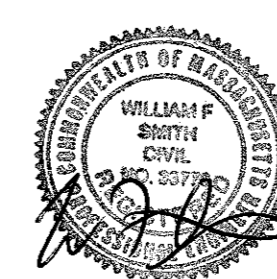
PROPOSED 8" ADS
DOWNSPOUT
COLLECTION PIPE

PROPOSED 7,200+ SF TEMPORARY INDOOR VEHICLE STORAGE AREA FOR (1)
VEHICLES RECENTLY PAINTED, PARTIALLY DISASSEMBLED, DAMAGED IN A
MANNER PROHIBITING OUTSIDE STORAGE, (2) VEHICLES AWAITING APPRAISER
SERVICES, AND (3) PARTS STORAGE. A CONVENIENCE BATHROOM FOR
EMPLOYEES IS PROPOSED. NO PUBLIC FACILITIES OR ACCESS.

"This plan is in compliance with the Westport Board of Health Stormwater regulation"

"Engineers and Registered Sanitarians are responsible for all errors and omissions.
Everything that appears is a true and accurate representation of field data. I hereby
certify."

Above statements as required by the Westport Board of Health



9/28/20 REV. BLDG., DRAINAGE SYSTEM, VEHICLE
STORAGE / PARKING CALCS., LANDSCAPING
7-21/20 ADD DETENTION POND RIP-RAP
6/14/20 ADD REFERENCE TO OFF-SITE DRAINAGE PLAN
PLAN NUMBERING, REVISE PARKING TABLE,
ADJUST NOTE #4, ADD IMPOUND DRVY. WIDTH
REVISIONS:

GENERAL NOTES:

- FOR EXISTING AND PROPOSED GRADES, SECURED
IMPOUNDMENT AREA PARKING CONFIGURATION, EXISTING
UTILITY POLE, ELECTRIC & GAS SERVICE LINES, AND
DETENTION POND DETAILS REFER TO SHEET #4 (NOT
SHOWN ON THIS SHEET FOR CLARITY).
- SEPTIC TANK AND PUMP CHAMBER RELOCATION REQUIRES
A PERMIT FROM THE WESTPORT BOARD OF HEALTH.
- ALL DISTURBED LAWN AREAS ARE TO BE RESTORED.
- EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO
ANY GROUND DISTURBANCE. DEVICES SHALL BE
MAINTAINED AND ANY SILT OR DEBRIS ACCUMULATING
AGAINST THE DEVICES SHALL BE REMOVED AS NECESSARY.
DEVICES TO REMAIN IN PLACE UNTIL LAWNS ARE
ESTABLISHED AND THE CONSERVATION AGENT IS IN
AGREEMENT THAT THE EROSION CONTROL DEVICES MAY BE
REMOVED. AREAS THAT WERE UNDER THE DEVICES SHALL
BE REPAIRED, LOAMED AND HYDROSEED.
- ANY SOIL STOCKPILE AREA SHALL BE LOCATED A MINIMUM
OF 10' FROM ANY PROPERTY LINE AND SHALL BE
SURROUNDED BY A SILT SOCK AND SILT FENCING.
- DISTURBED (AND STOCKPILED) SOIL AREA SHALL BE
WETTED AS NECESSARY TO CONTROL DUST.
- 42,200 SF = TOTAL PROPOSED ACTIVITY AREA (INCLUDING
PROPOSED BUILDING, BUILDING CONNECTOR, PARKING AREA
MODIFICATIONS, DRIVEWAY, LANDSCAPING, LAWN / GRAVEL
AREA CHANGES, SEPTIC SYSTEM ALTERATIONS, STORM
DRAINAGE FACILITY AND REGRADING)

PROPOSED PLANTING ISLAND CHART

ISLAND BEDS SHALL BE BUILT WITH 1/2 SCREEN LOAM AND 1/2
COMPOST. MULCH SHALL BE NATURAL HEMLOCK.

PLANTING ISLAND #1
124' x 9' (1114 SF)
FOUR (4) KOUSA DOGWOOD (CORNUS KOUSA)
7' TO 8' HIGH, 2.5" CALIPER
TWENTY-FOUR (24) SHAMROCK INKBERY (ILEXGLABRA
"SHAMROCK")
2' TO 3' HIGH, 7 GALLON POTS

PLANTING ISLAND #2
42' x 19' "L" SHAPED (449 SF)
TWO (2) KOUSA DOGWOOD (CORNUS KOUSA)
7' TO 8' HIGH, 2.5" CALIPER
THIRTEEN (13) SHAMROCK INKBERY (ILEXGLABRA "SHAMROCK")
2' TO 3' HIGH, 7 GALLON POTS

PLANTING ISLAND #3
49' x 36' "L" SHAPED (688 SF)
FOUR (4) CLEVELAND PEARS (PYRUSCALLERYANA "CLEVELAND
SELECT")
NINETEEN (19) SHAMROCK INKBERY (ILEXGLABRA "SHAMROCK")
2' TO 3' HIGH, 7 GALLON POTS

EXISTING LANDSCAPE ISLANDS AT ENTRANCE TO RT 177 TO
REMAIN. LANDSCAPING CONTRACTOR TO DETERMINE VIABILITY
OF EXISTING PLANTINGS AND REPLACE / SUPPLEMENT AS
NECESSARY. (730 SF EXIST)

2,981 SF OF TOTAL LANDSCAPE AREAS PROPOSED
2,885 SF OF LANDSCAPE AREA REQUIRED (BASED ON TOTAL
BUILD OUT OF 19,230 SF OF ASPHALT DRIVEWAY / PARKING
AREAS.

NOTE:
PLANTING AREAS AND SPECIFICATIONS
PREPARED IN CONJUNCTION WITH COPICUT
LANDSCAPING LLC
58 BERGERON LANE
NORTH DARTMOUTH, MA
508.617.8785

PLANNING BOARD SIGNATURES

DATE:

PROPOSED SITE PLAN - LAYOUT & DESCRIPTIONS

PREPARED FOR

5 STAR COLLISION CENTER

ASSESSOR'S PLAT 35 LOT 3A

683A & 683B AMERICAN LEGION HIGHWAY

WESTPORT, MASSACHUSETTS

SCALE: 1" = 20'

DATE: NOVEMBER 20, 2019

Civil Engineering Concepts, Inc.

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LITTLE COMPTON, RI 02837 NEW BEDFORD, MA 02742

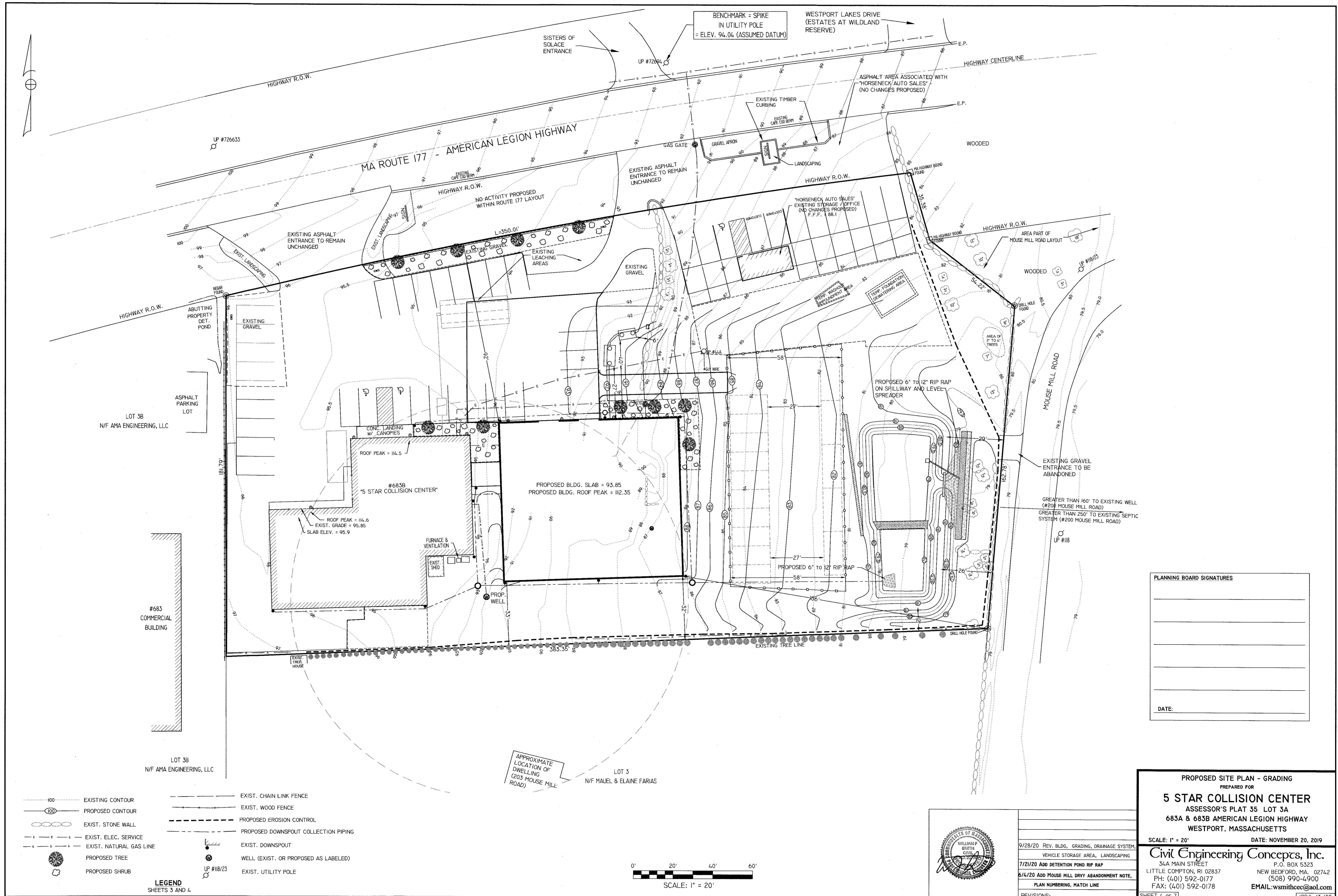
PH: (401) 592-0177 (508) 990-4900

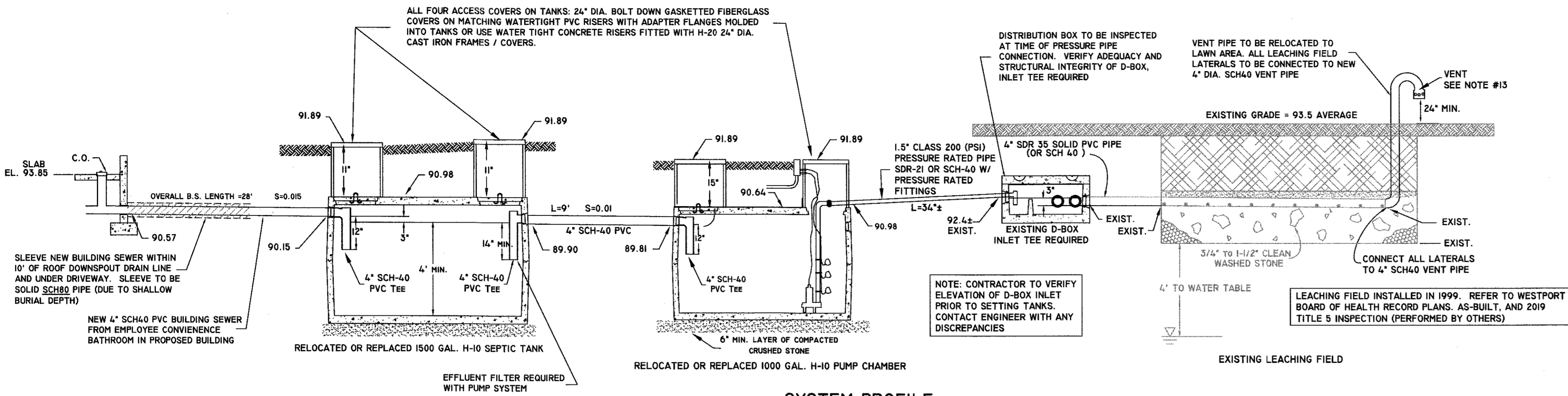
FAX: (401) 592-0178 EMAIL: wsmithccc@aol.com

SHEET 3 OF 6

JOB#: 13-139

19-016SPA Rev 2





SYSTEM PROFILE
NOT TO SCALE

ELEVATION SCHEDULE

93.85...PROP. BUILDING SLAB
90.57...PROP. INV. AT FOUNDATION
90.15...PROP. INV. INTO SEPTIC TANK
89.90...PROP. INV. OUT OF SEPTIC TANK
89.81...PROP. INV. INTO PUMP CHAMBER
90.98...PROP. INV. OUT OF PUMP CHAMBER
91.75...AVERAGE EXISTING GRADE AT TANKS
88.75...AVERAGE WATER TABLE AT TANKS *
92.41...EXIST. INV. INTO D-BOX

* HIGHER OF THE FOLLOWING WATER TABLE DETERMINATIONS USED FOR CALCULATIONS:

88.75...AVERAGE WATER TABLE AT TANKS (BASED ON ABUTTING PROPERTIES SOIL EVALUATIONS)
86.50...AVERAGE WATER TABLE AT TANKS (BASED ON 1990 PERC TEST FOR 5-STAR BUILDING)
85.75...AVERAGE WATER TABLE AT TANKS (BASED ON 1999 SOIL EVALUATION FOR CURRENT [DWELLING] SYSTEM AND 2019 TITLE 5 INSPECTION)

NOTE: CONTRACTOR TO VERIFY ELEVATION OF D-BOX INLET PRIOR TO SETTING TANKS. CONTACT ENGINEER WITH ANY DISCREPANCIES

BASIS OF SANITARY DESIGN

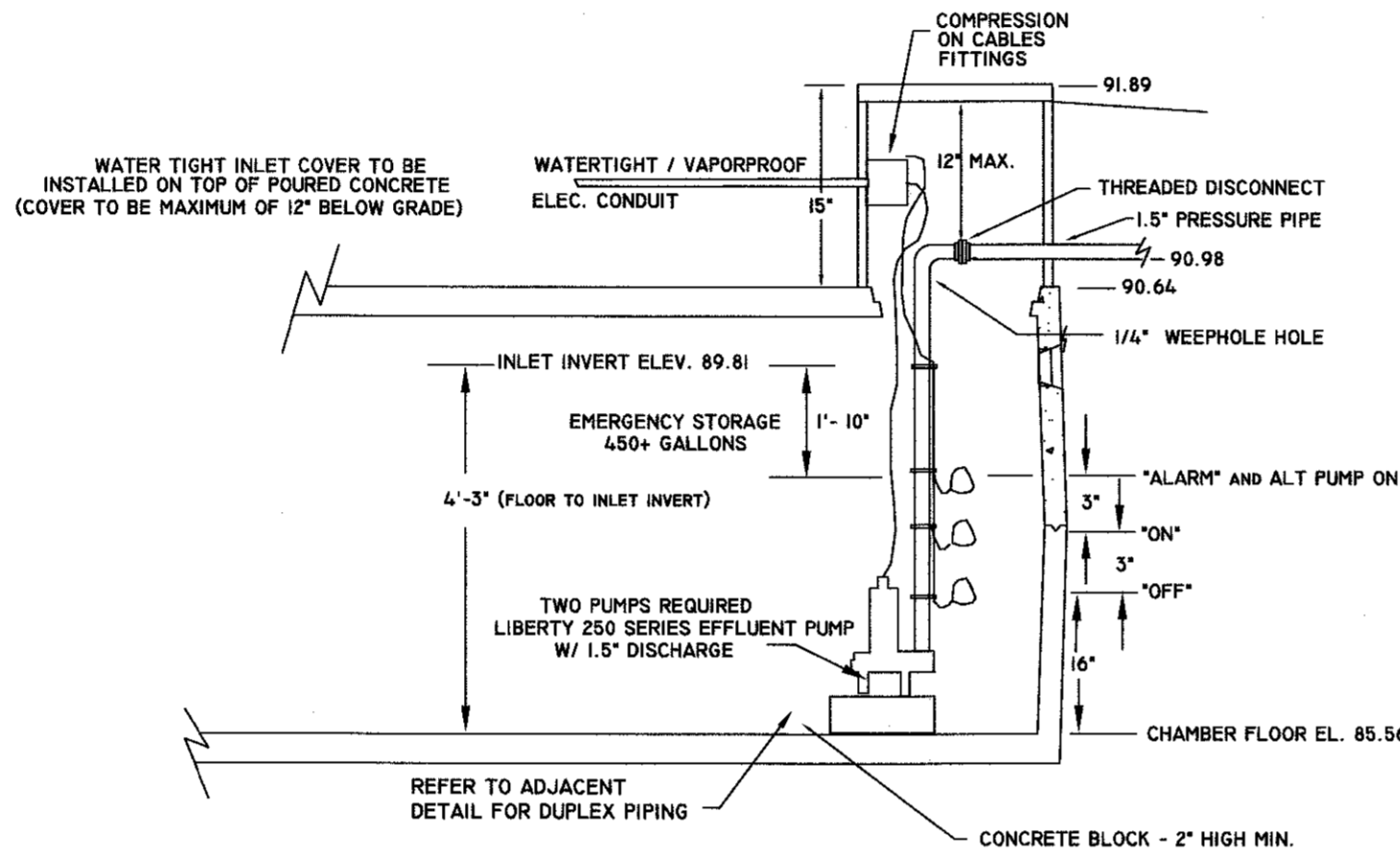
EXISTING BUILDING USAGE: 3-BEDROOM RESIDENTIAL DWELLING
EXISTING TITLE 5 SEWAGE FLOW: 330 GAL/DAY
EXISTING SEPTIC SYSTEM DESIGN FOR 396 GAL/DAY (BASED ON WESTPORT BOARD OF HEALTH RECORD PLANS)

PROPOSED REPLACEMENT BUILDING: 8,000 SF STORAGE / WAREHOUSE
w/ EMPLOYEE CONVENIENCE BATHROOM (NO PUBLIC ACCESS)

PROPOSED TITLE 5 SEWAGE FLOW (MAXIMUM USAGE):
200 GAL/DAY...<300 SF OFFICE WORK AREA / w/ CONVENIENCE BATHROOM AT 75 GAL/1,000 SF (200 GPD MIN.)
60 GAL/DAY...MAXIMUM OF 4 EMPLOYEES IN STORAGE WAREHOUSE AT 15 GAL/PERSON/DAY
260 GAL/DAY TOTAL (MAX)

SEPTIC TANK SIZE: 1500 GALLON
GARBAGE DISPOSAL: NOT PERMITTED
PUMP CHAMBER: 1000 GALLONS

FOR ADDITIONAL INFORMATION PERTAINING TO THE EXISTING SEPTIC SYSTEM, REFER TO TITLE 5 OFFICIAL INSPECTION REPORTS PERFORMED BY OTHERS (ON FILE WITH THE WESTPORT BOARD OF HEALTH)



1000 GALLON PUMP CHAMBER DETAIL - PROFILE VIEW
NOT TO SCALE

SEPTIC TANK BUOYANCY CALCS.

Tank type: 1500 Gallon H-10 Tank Wt.: 12,400 lbs.
Weight of Earth Cover (min. of 9" of soil on tank): 4,234 lbs.
Upward lift (neglecting soil friction):
10.5' (length) x 5.66' (width) x 3.5' (max. submerged depth) x 62.4 lbs/c.f. = 12,980 lbs.

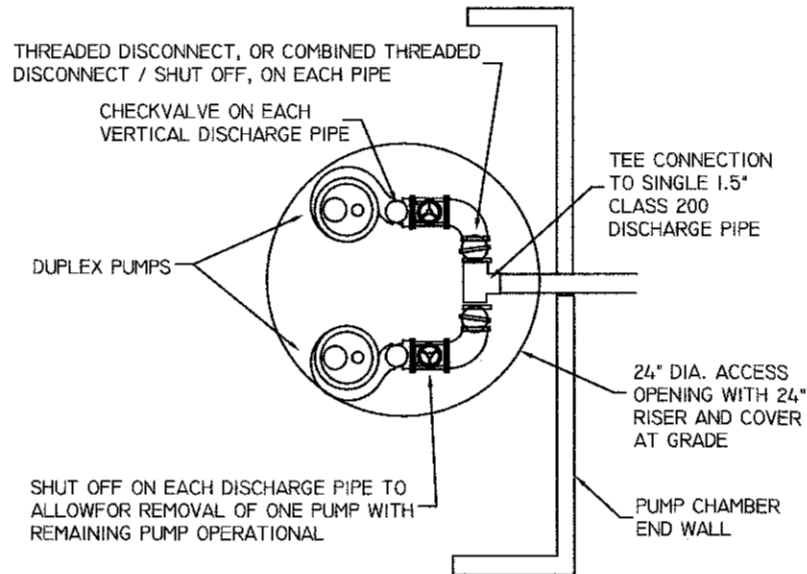
Safety factor:
 $\frac{12,980 + 4,234}{12,980} = 1.28$

SEPTIC TANK BUOYANCY CALCS.

Tank type: 1000 Gallon H-10 Tank Wt.: 8,900 lbs.
Weight of Earth Cover (min. of 12" of soil on tank): 4,572 lbs.
Upward lift (neglecting soil friction):
8.75' (length) x 5.25' (width) x 3.5' (max. submerged depth) x 62.4 lbs/c.f. = 10,033 lbs.

Safety factor:
 $\frac{8,900 + 4,572}{10,033} = 1.34$

DUPLEX PUMP DETAIL - PLAN VIEW
NOT TO SCALE

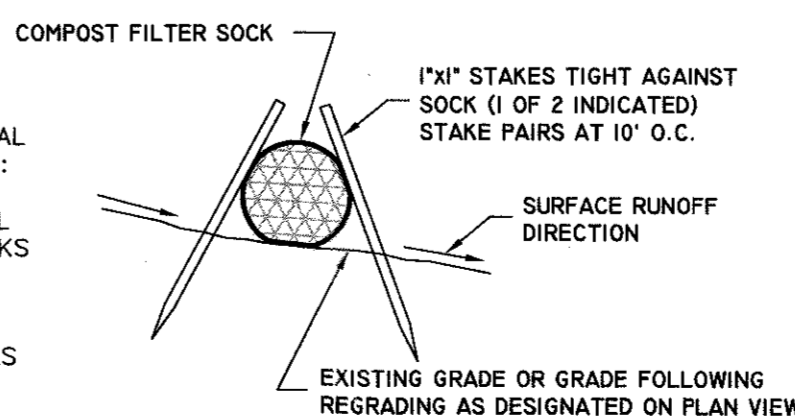
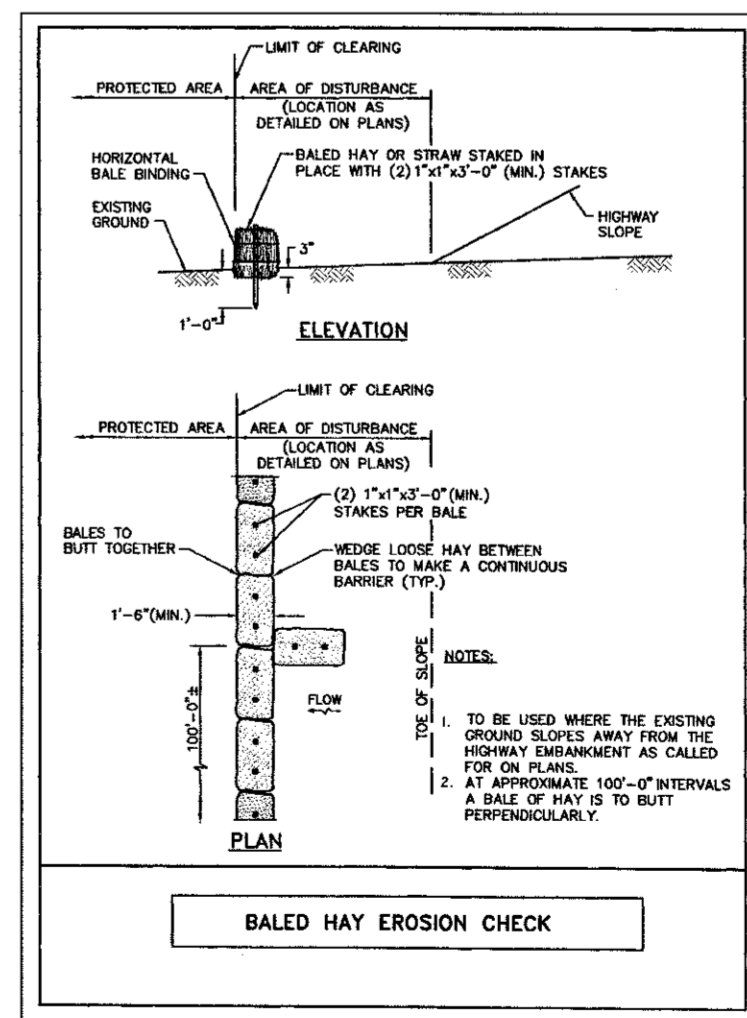
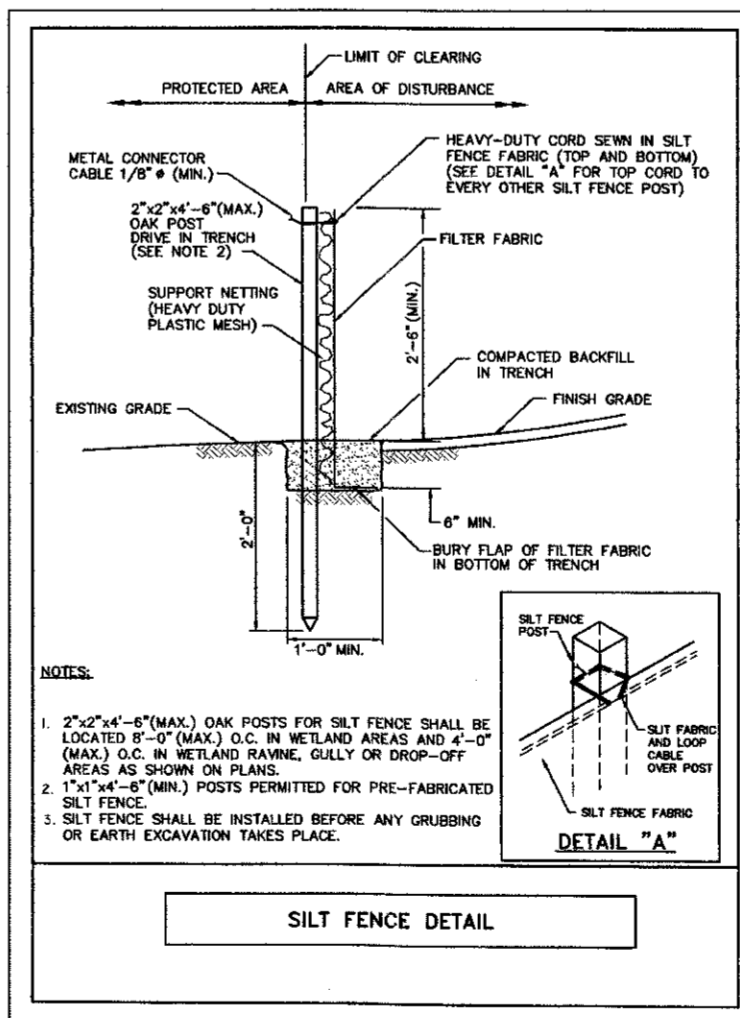
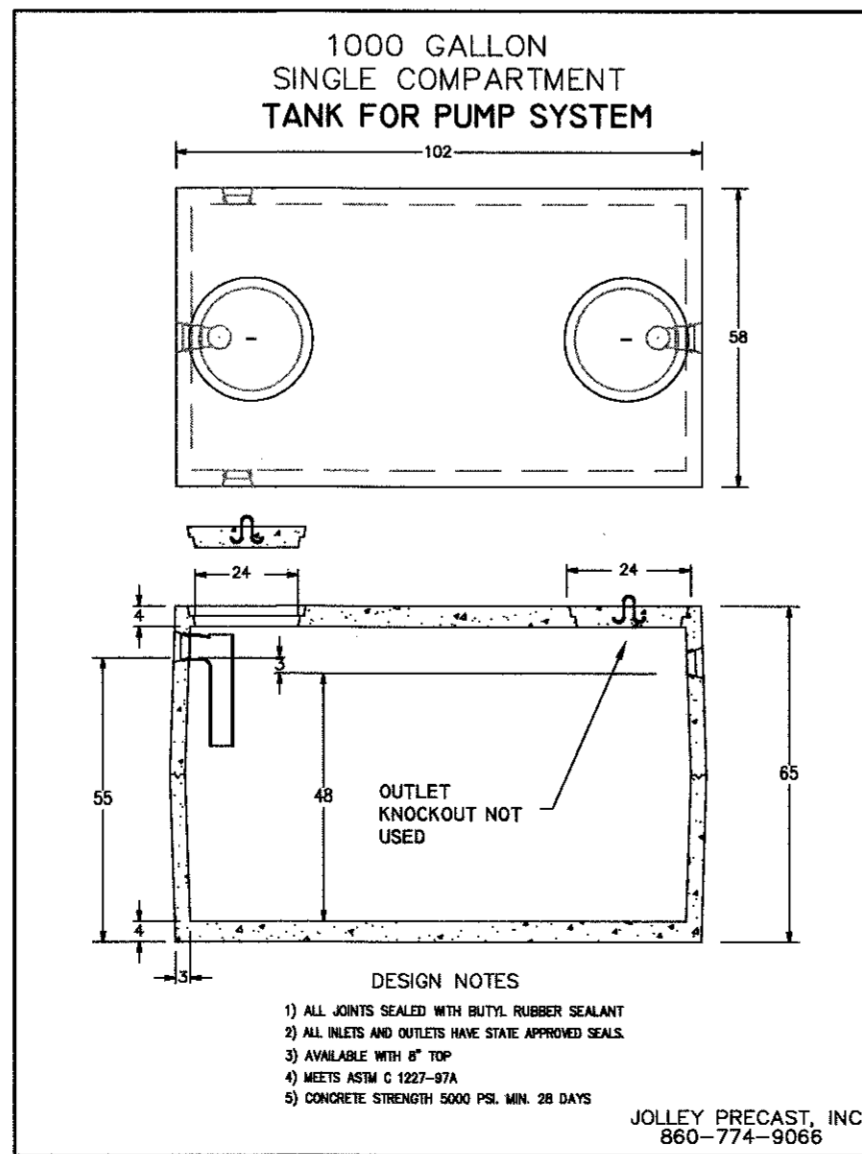
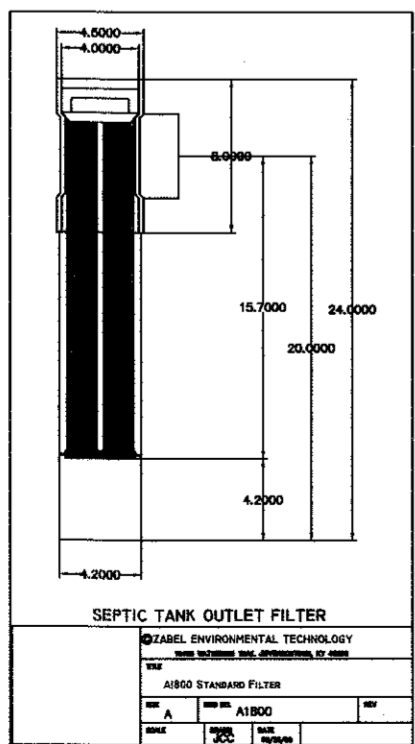
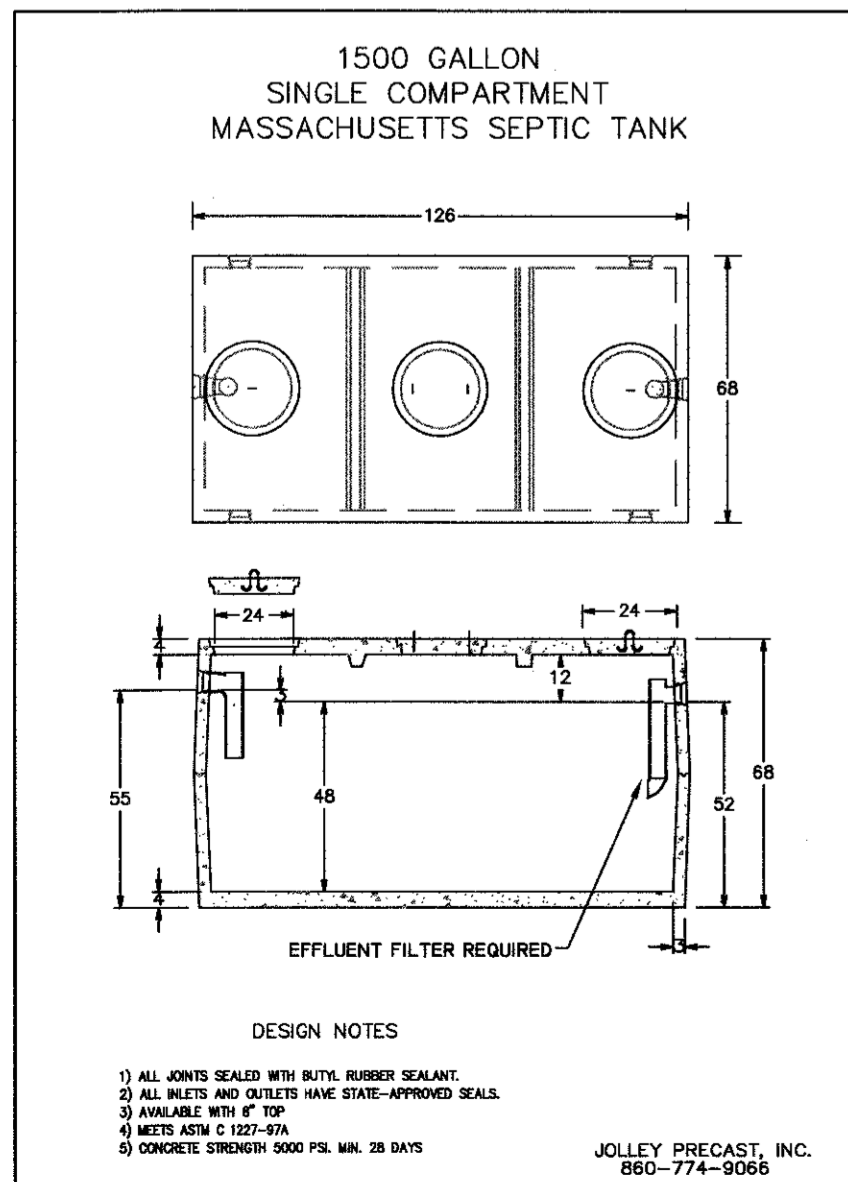


SEPTIC SYSTEM NOTES:

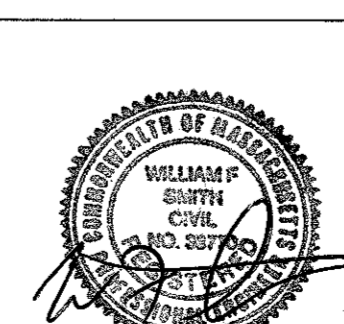
- * Refer to Official Title 5 Septic System Inspection reports, prepared by others and previously submitted to the Westport Board of Health, for additional information relative to existing septic system.
- The proposed modifications to be the existing sanitary sewage disposal system indicated shall be constructed in compliance with all applicable local Board of Health regulations and 310 CMR 15.00 (TITLE V) of the State Environmental Code, as most recently amended. Any modification to this design must be approved by the engineer and the local Board of Health.
- Benchmark(s), as shown on Existing Conditions Plan, shall be verified by the Contractor prior to construction of the proposed system. Contractor is responsible for notifying Engineer if Benchmark appears disturbed or to have the Benchmark relocated prior to any site disturbance.
- Notify the local Board of Health when the installation of the relocated septic tank and pump chamber are ready for inspection, prior to any backfilling of the tanks or and replaced piping. Design engineer requires 3 day advanced notification for scheduling the necessary survey work as part of the as-built plan (required by the BOH).
- All septic system proposed elevations indicated are minimums. Elevations may be raised but not lowered without the consent of the engineer.
- This system is not designed for use of a garbage disposal or other high water usage devices. Any water treatment / softening units added to the potable well, that generate high volumes of liquid by-product to the septic system, may significantly reduce septic system life expectancy and therefore is not permitted.
- Any components of the proposed system that are specified as heavy duty shall conform to all state and local requirements for AASHTO H-20 loading.
- The existing septic tank may be removed and reused provided the tank is 1500 gallons (min) capacity and is structurally sound and water tight. Any tank having a concrete outlet tee may not be reused. Any replacement septic tank shall be 1500 gallons conforming to 310 CMR 15.223 through 15.228, and fitted with PVC schedule 40 inlet tee and outlet tee with outlet filter. A replacement tank will require a decommissioning permit be obtained from the BOH by the contractor. The Septic Tank inlet and outlet covers shall be built up to finished grade with a water tight riser and cast iron frame/cover or bolt down, gasketed poly/fiberglass cover on matching risers and adapter flanges may be used. An outlet filter is required to be installed due to the existence of a pump chamber. Any knock-out hole (bung hole) in the bottom of the tank shall remain sealed. Tank shall be placed on 6" layer of 3/4" stone.
- The existing pump chamber may be removed and reused provided the tank is 1000 gallons (min) capacity, is structurally sound and water tight, and has an outlet access opening sufficiently sized to accommodate duplex pump system. Any replacement pump chamber shall be 1000 gallons conforming to 310 CMR 15.223 and 15.231. A replacement pump chamber will require a decommissioning permit be obtained from the BOH by the contractor.
- The pump chamber pump access cover shall be built up to finished grade with a water tight POLY / PVC riser and bolt down, gasketed matching poly/fiberglass cover. Proper sized grommet to be used where pressure pipe exits out through the riser. The electrical connection box shall be located inside the riser within 12" of the cover. Poly riser with manufacturer-attached water proof exterior electrical connection box with water tight threaded cover at grade is allowed. Any knock-out hole (bung hole) in the bottom of the tanks shall remain sealed. Tank shall be placed on 6" layer of 1" stone.
- Pump system alarm / control panel shall be mounted on P.T. posts within view of the pump access cover. Panel may only be mounted indoors if adjacent to a door or window (that can be opened) and within clear view of the pump access cover.
- All tank seams, riser connections (if any) and all plumbing joints are to be installed 100% watertight, sealed with suitable gasket material, asphalt cement or other cement suitable for that specific component. The life span of the system would be compromised by the intrusion of any groundwater.
- Heavy equipment shall not be driven over the septic tank or pump chamber.
- The distribution box shall be inspected at the time of connection to the relocated pump chamber. An inlet tee is required on the inlet pressure pipe. D-box shall be replaced if found to be defective. D-box shall be fitted with a riser and cast iron frame / cover at grade. Any replacement D-box shall be H-20 rated due to proximity of the driveway.
- The existing damaged vent pipe located at the end of the leaching field is to be relocated to the lawn area as shown on the site plan. Vent piping to be 4" dia. SCH40 PVC and shall be connected to the ends of all leaching field laterals and sloped up to the vent. Vent to be equipped with insect screen or suitable charcoal filter.

GENERAL CONSTRUCTION NOTES:

- No activity is proposed within the Highway layout.
- Erosion control shall be installed prior to any site activity and shall remain in place and be maintained until all activities are completed, inspections performed, and vegetation established.
- Any substantial silt accumulation against the erosion control is to be removed by hand labor.
- All construction litter and debris is to be removed from the vicinity of the erosion control line daily.
- Proposed Handicap parking spaces shall comply with MA DOT and all applicable Federal requirements as to signage, painted line work, and accessibility into the existing building.
- "DO NOT ENTER" and "HANDICAP PARKING" signage shall conform with US DOT FHWA manual on Uniform Traffic Control Devices. Two handicap parking signs and two do not enter signs are required for the project.
- Any relocation of the underground gas line and electric line to the proposed building shall have suitable tracing wire or tape placed above the replacement utilities to facilitate future identification. Contractor is responsible for securing the necessary permits for the utility work.
- Any existing underground utilities shown are approximate only and are based on previous Dig-Safe marking or visual evidence of utilities. Contractor is responsible for obtaining current Dig-Safe mark-out prior to any excavation.
- Composition of the proposed additional asphalt parking area shall conform to Westport Planning Board requirements for Rural Residential Lane.



COMPOST FILTER SOCK MATERIAL SHALL BE IN ACCORDANCE WITH AASHTO DESIGNATION: MP 9-06 (2007 OR LATEST EDITION). COMPOST FILTER MATERIAL SHALL BE IN ACCORDANCE WITH AASHTO DESIGNATION: MP9-06 (2007 OR LATEST EDITION). COMPOST MATERIAL SHALL ALSO MEET ALL APPLICABLE FEDERAL AND STATE REGULATIONS. FOR COMPOST FILTER SOCKS 18 INCHES OR LESS IN DIAMETER, WOODEN STAKES SHALL BE 1 INCH BY 1 INCH, AT 10 FOOT INTERVALS ON CENTER, AND OF A LENGTH THAT SHALL PROJECT INTO THE SOIL 1 FOOT LEAVING 3 INCHES TO 4 INCHES PROTRUDING ABOVE THE TOP OF THE FILTER SOCK.



REVISIONS:	
9/28/20	NO CHANGES THIS SHEET
7/21/20	NO CHANGES THIS SHEET
6/4/20	PLAN NUMBERING

PLANNING BOARD SIGNATURES

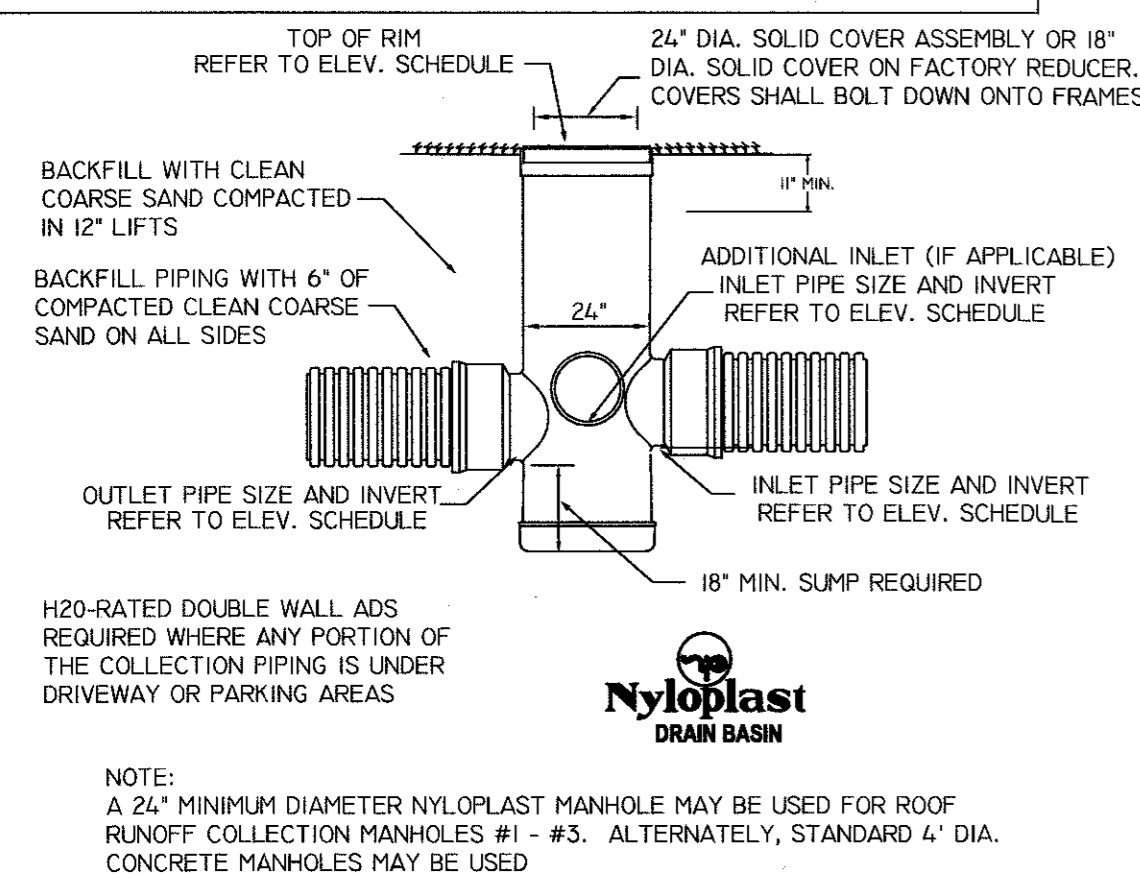
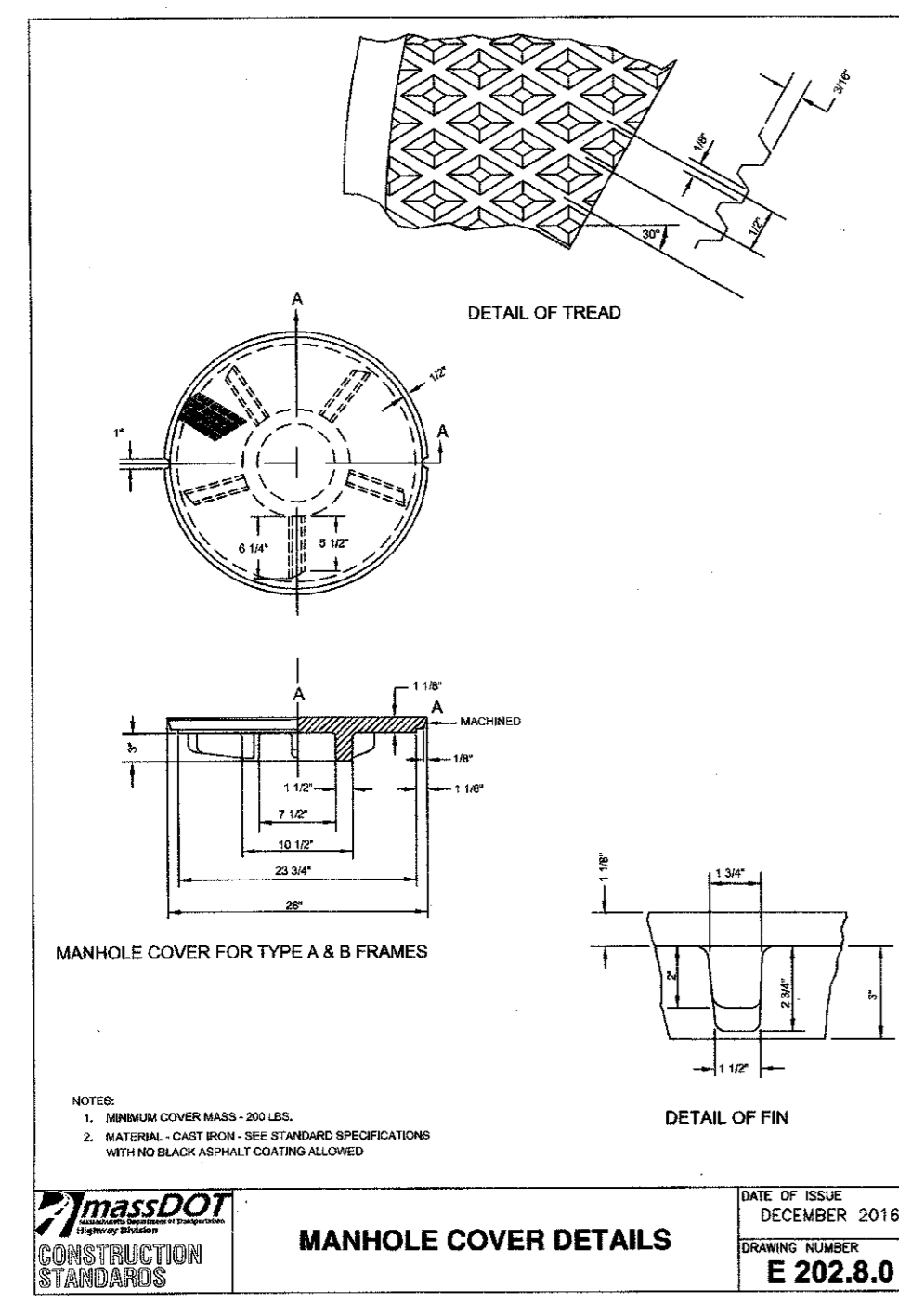
DATE:

SEPTIC SYSTEM DETAIL SHEET
PREPARED FOR
5 STAR COLLISION CENTER
ASSESSOR'S PLAT 35 LOT 3A
683A & 683B AMERICAN LEGION HIGHWAY
WESTPORT, MASSACHUSETTS

SCALE: NONE DATE: NOVEMBER 20, 2019

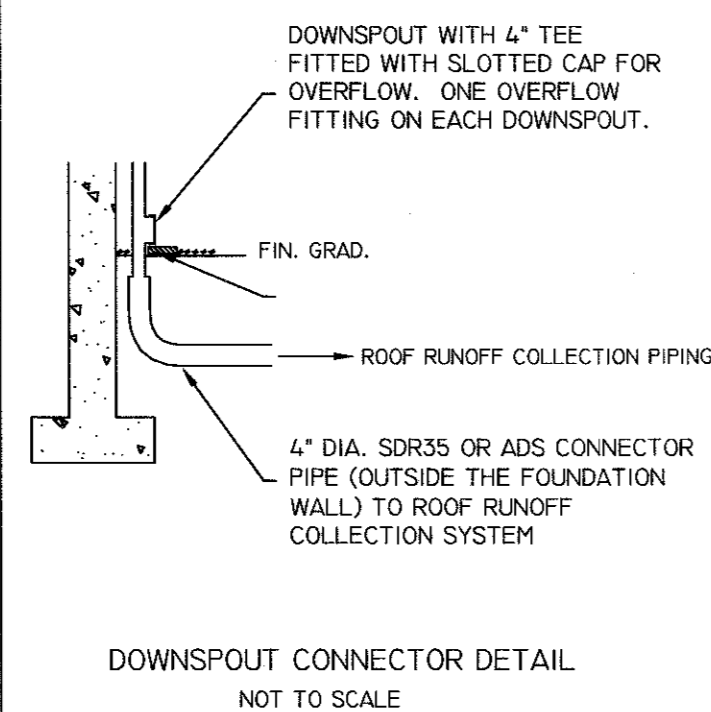
Civil Engineering Concepts, Inc.
34A MAIN STREET P.O. BOX 5323
LITTLE COMPTON, RI 02837 NEW BEDFORD, MA 02742
PH: (401) 592-0177 (508) 990-4900
FAX: (401) 592-0178 EMAIL: wsmithc@ao.com

SHEET 5 OF 6



ROOF RUNOFF COLLECTION MANHOLE - NON-TRAFFIC AREAS
NOT TO SCALE

NOT TO SCALE



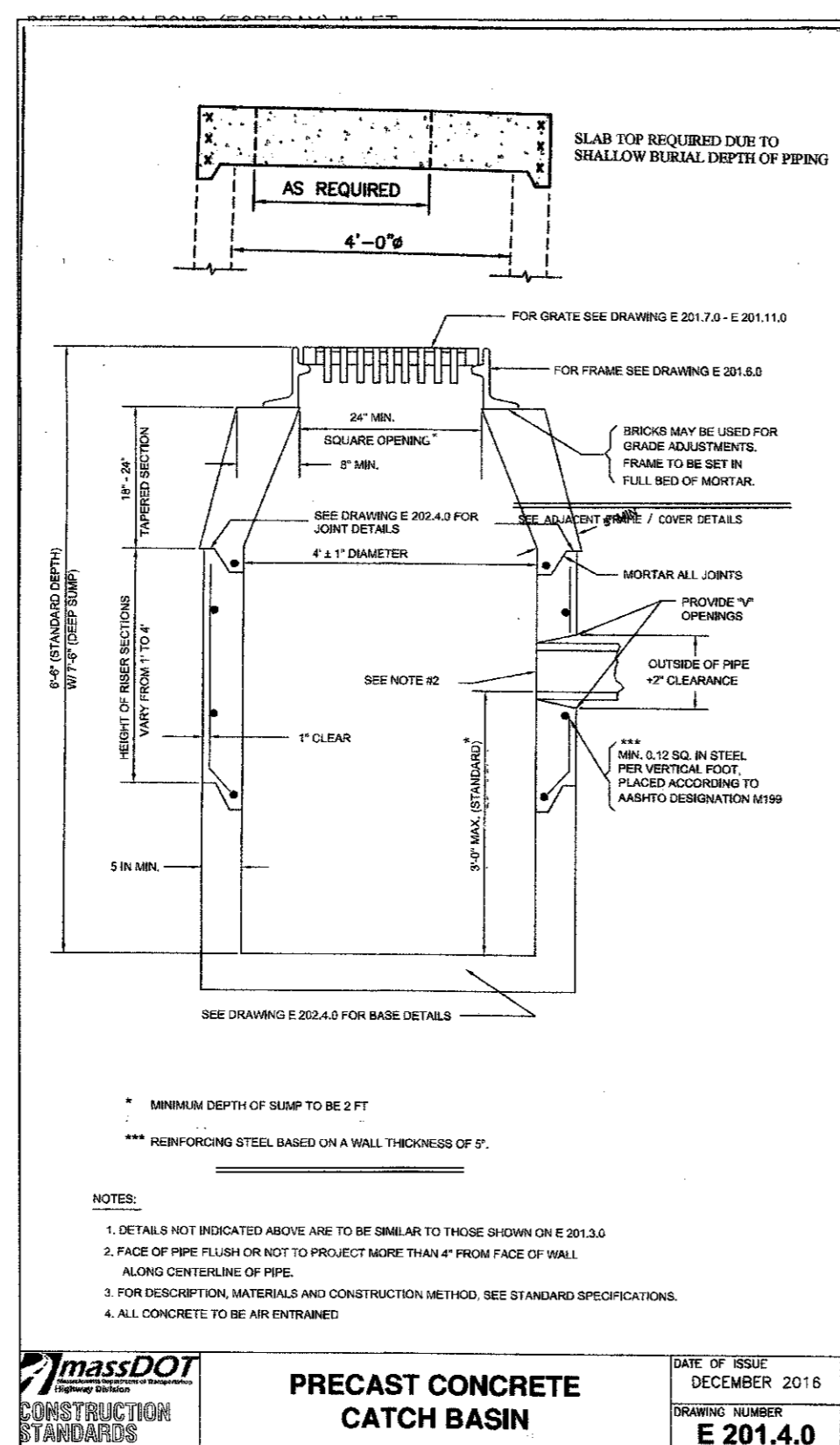
ROOF RUNOFF COLLECTION PIPING / MANHOLE ELEVATION SCHEDULE

NOTE: ALL ADS PIPING EXCEPT 12" DISCHARGE TO FOREBAY WHICH SHALL BE SCH40 PVC DUE TO SHALLOW BURIAL DEPTH

MANHOLE #1:
93.15RIM
91.64INV. 6" INLET (BOTH)
91.30INV. 8" OUTLET
89.80BOTTOM OF SUMP

MANHOLE #2:
87.15RIM
85.28INV. 8" INLET (BOTH)
84.78.....INV. 12" OUTLET
83.28.....BOTTOM OF SUMP

MANHOLE #3:
92.75.....RIM
90.85.....INV. 4" INLET FROM DOWNSPOUT
90.68.....INV. 6" INLET
90.35.....INV. 8" OUTLET
88.85.....BOTTOM OF SUMP



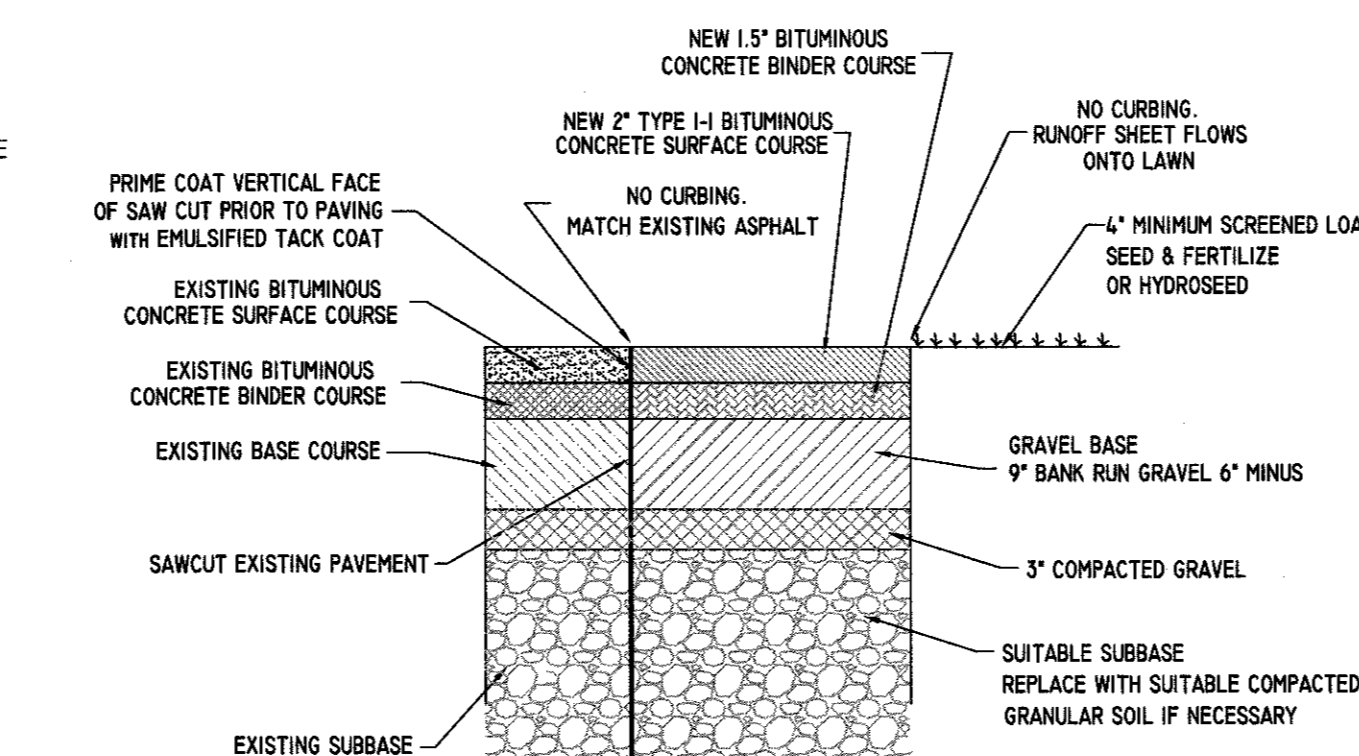
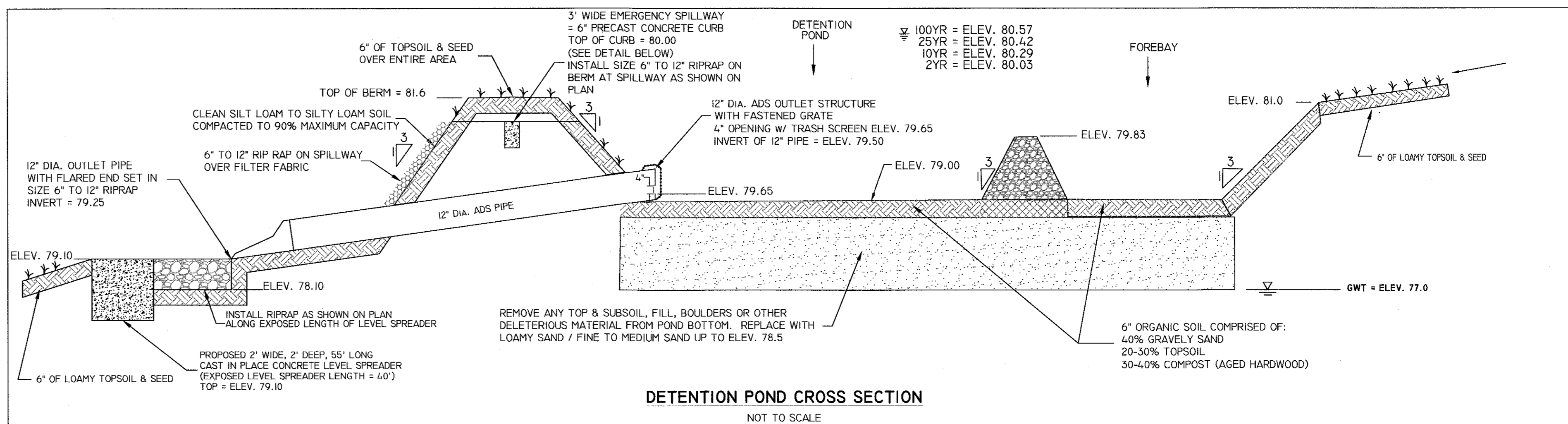
CONCRETE MANHOLE DETAIL

OPTIONAL ALLOWABLE SUBSTITUTION - MAY BE USED IN PLACE
OF THE DESIGNATED NYLOPLAST MANHOLES
WHERE RIM AND INVERT ELEVATIONS PERMIT

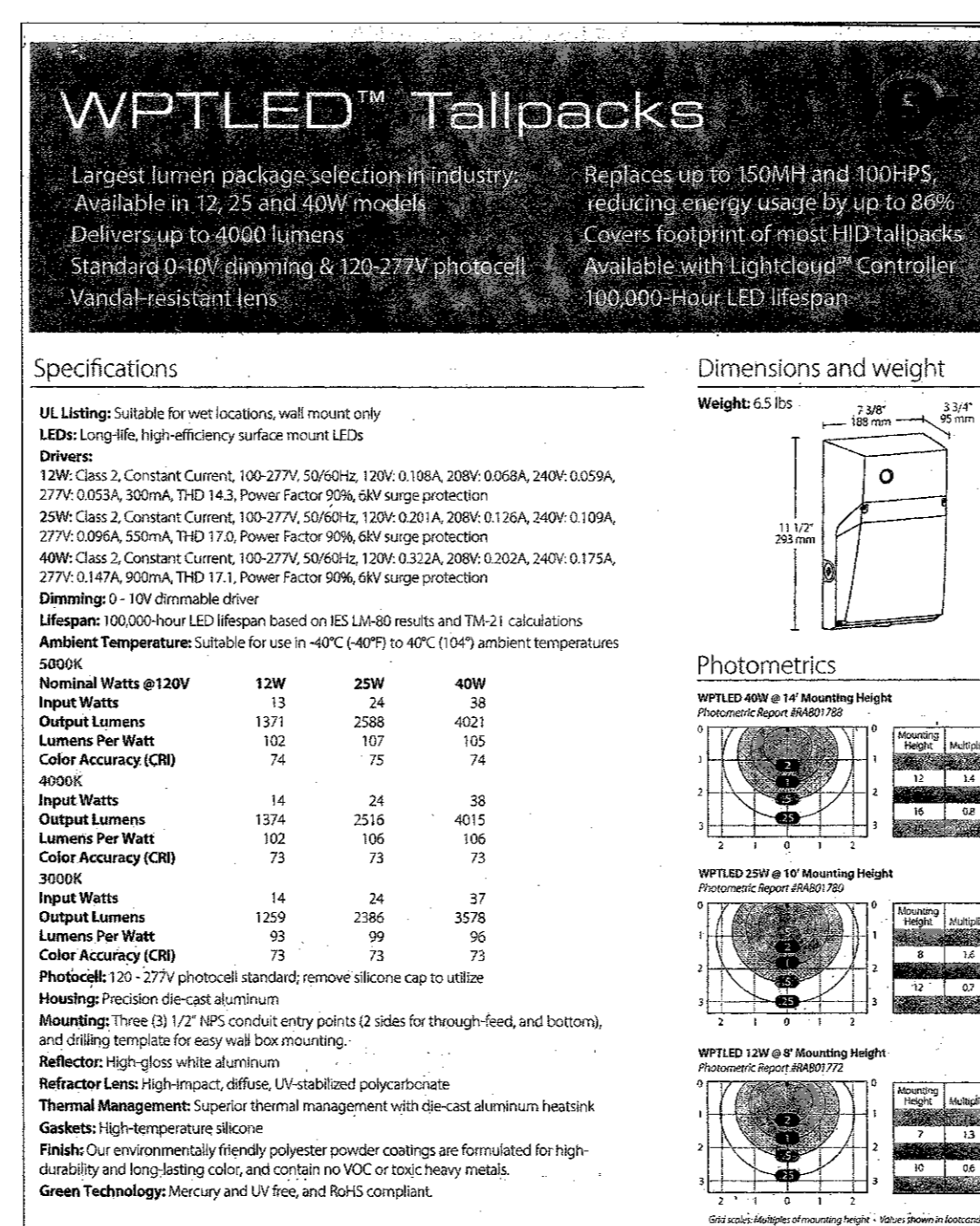
NOTE:
E 201.4.0 CATCH BASIN-STYLE MANHOLE WITH A SOLID COVER AND SUMP,
USED AS AN INTERCEPTOR MANHOLE (IN PLACE OF THE SPECIFIED
NYLOPLAST BASIN) IN THE ROOF RUNOFF COLLECTION PIPING SYSTEM.

A SOLID COVER MUST BE USED. GRATE NOT PERMITTED.

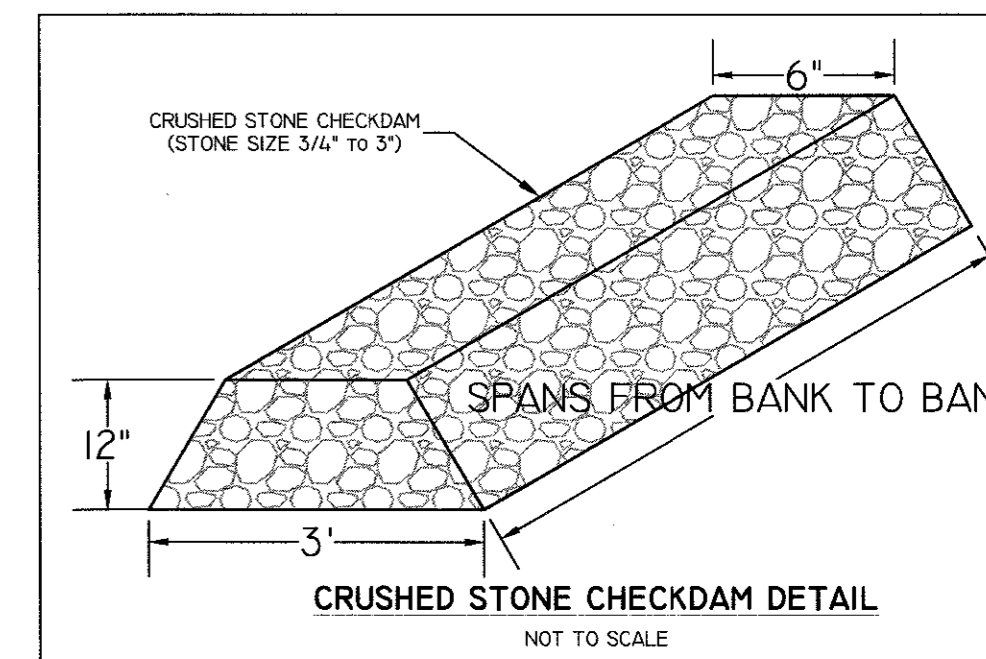
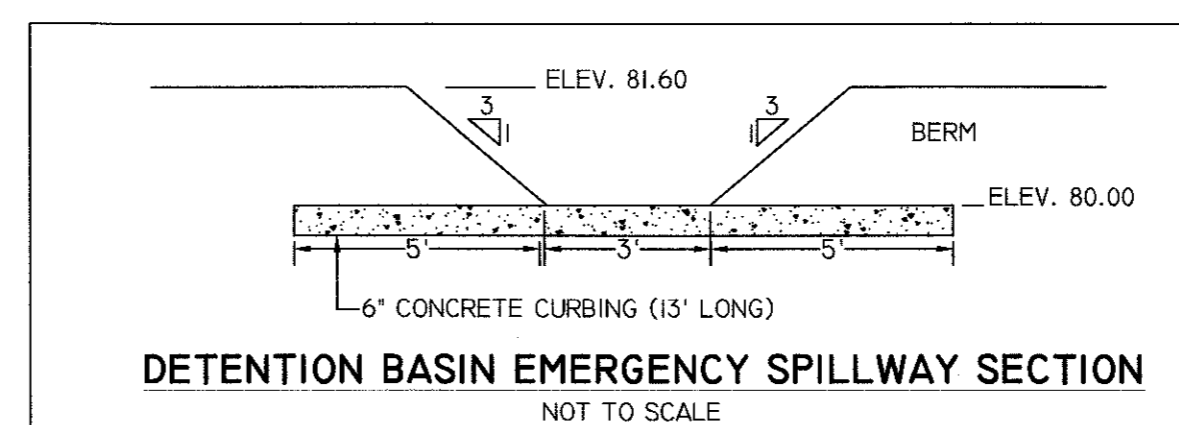
FOR ROOF RUNOFF COLLECTION SYSTEM, A 12" MINIMUM SUMP IN EACH ROOF RUNOFF MANHOLE MAY BE USED.



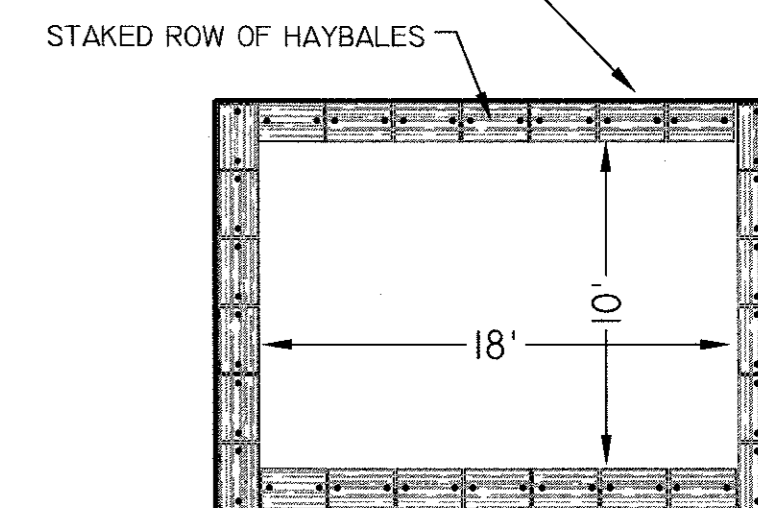
PARKING LOT ASPHALT DETAIL
(NOT TO SCALE)



FOUR 40 WATT LED SCNCE-TYPE WALL MOUNT LIGHTS INSTALLED 12
ABOVE BUILDING FLOOR ELEVATION (14'+/- ABOVE AVERAGE OUTSIDE
FINISHED GRADE). LOCATIONS AS SHOWN ON SHEET #3

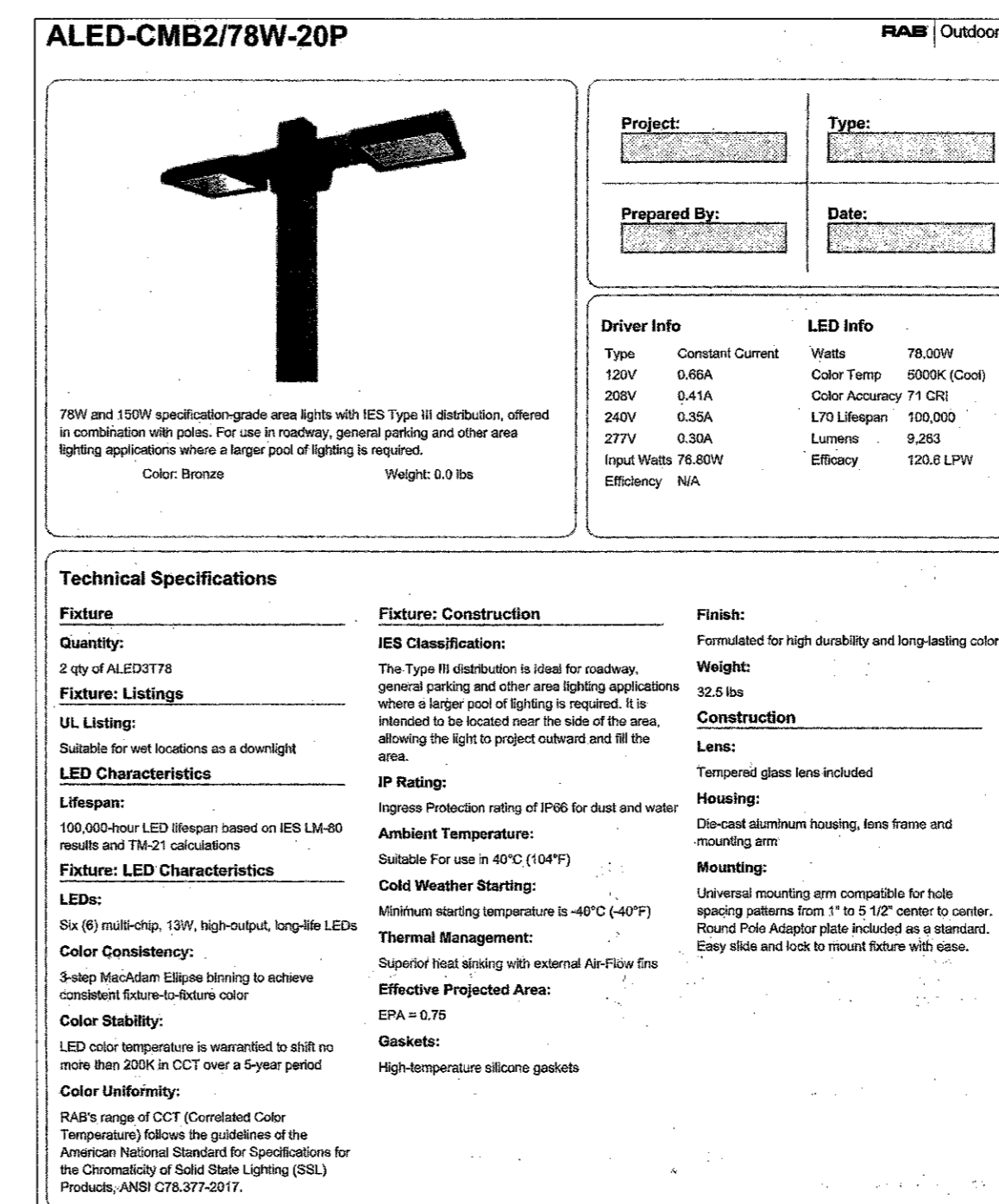


STAKED SILTATION FENCING
OR STAKED SILT SOCK
(SURROUNDING STAKED
HAYBALES)

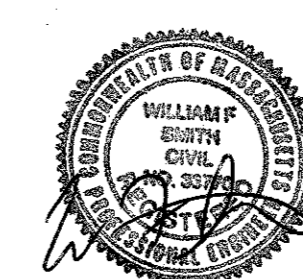


DEWATERING AREA DETAIL
NOT TO SCALE

PLANNING BOARD SIGNATURES



THREE TWIN HEAD DOWNWARD (SHOEBOX-STYLE) 78 WATT LED POLE LIGHTS. LOCATIONS AS SHOWN ON SHEET #3



9/28/20	REVISE STORM DRAINAGE DETAILS
7/21/20	REVISE DETENTION POND DETAIL
6/4/20	ADD PAVEMENT DETAIL, PLAN NUMBERING
REVISIONS:	

DRAINAGE SYSTEM AND LIGHTING DETAILS

5 STAR COLLISION CENTER
ASSESSOR'S PLAT 35 LOT 3A
683A & 683B AMERICAN LEGION HIGHWAY
WESTPORT, MASSACHUSETTS

SCALE: NONE DATE: NOVEMBER 20, 2019

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JOB#: 13-139